



Community Development
Planning Division
501 SW Madison Avenue
P.O. Box 1083
Corvallis, OR 97339-1083
(541) 766-6908
FAX (541) 754-1792

**NOTICE OF DISPOSITION FOR
HISTORIC PROPERTY NEW CONSTRUCTION REQUEST**

ORDER NO. 2005-106

CASE: Frank and Myra Groshong House (HPP05-00019)

PROPERTY LOCATION: 3257 NW Jackson Avenue. It is also identified on Benton County Assessor's Map 115-34BC as Tax Lot 9400.

OWNERS: Randy and Mary Law
3257 NW Jackson Avenue
Corvallis, OR 97339

APPLICANT: Clark Watts
3043 NW Orchard Avenue
Corvallis, OR 97339

REQUEST/PROPOSAL: Historic preservation new construction request to construct an addition of approximately 200 sq. ft. in size to the west side of the house. The addition would have an approximate wall height of 8'3". The applicant proposes to apply stucco siding to match the existing siding, and install cottage-style, 3-over-1 windows to match the existing windows. The proposed window material is vinyl; the applicant notes that the addition will sit back almost 40' from the curb and the windows installed for an earlier addition are all vinyl. The applicant also proposes to lay a 45' x 27' concrete pad in the rear yard to be used as a private play area.

CRITERIA: The historic preservation new construction will be approved if the Community Development Director finds the following criteria from Chapter 2.9 of the Corvallis Land Development Code have been met:

- (a) The new construction maintains any unifying development patterns such as sidewalk and street tree locations, setbacks, building coverage, and orientation to the street.
- (b) The structure is consistent with the size and scale of surrounding contributing buildings and reflects their architectural elements.
- (c) Building materials are reflective of and complementary to existing contributing buildings within the district.
- (d) Signs, exterior lighting, and other appurtenances, such as walls, fences, awnings, and

landscaping shall be visually compatible with the architectural character of the surrounding contributing buildings.

PUBLIC

COMMENT: Twenty-five notices were mailed. No public comments were received as of August 1, 2005.

DECISION: Based on information submitted by the applicant, a review of the applicable criteria, and the recommendation for approval of the request by the Historic Preservation Advisory Board, it is the decision of the Community Development Director to approve the new construction request as presented in the August 1, 2005 Staff Report, with the following conditions of approval:

1. Consistency with the application: Except as modified through the conditions of approval below, the New Construction shall be consistent with the applicant's plans in the August 1, 2005 Staff Report to the HPAB.
2. Windows: Vinyl windows shall not be allowed on the new addition, however, fiberglass, clad, or wood windows shall be permitted.
3. Application for necessary building permits: The applicant is directed to consult with the Development Services Division regarding any building permit requirements related to the site alteration.

August 9, 2005
DATE OF DECISION



KEN GIBB, COMMUNITY DEVELOPMENT DIRECTOR

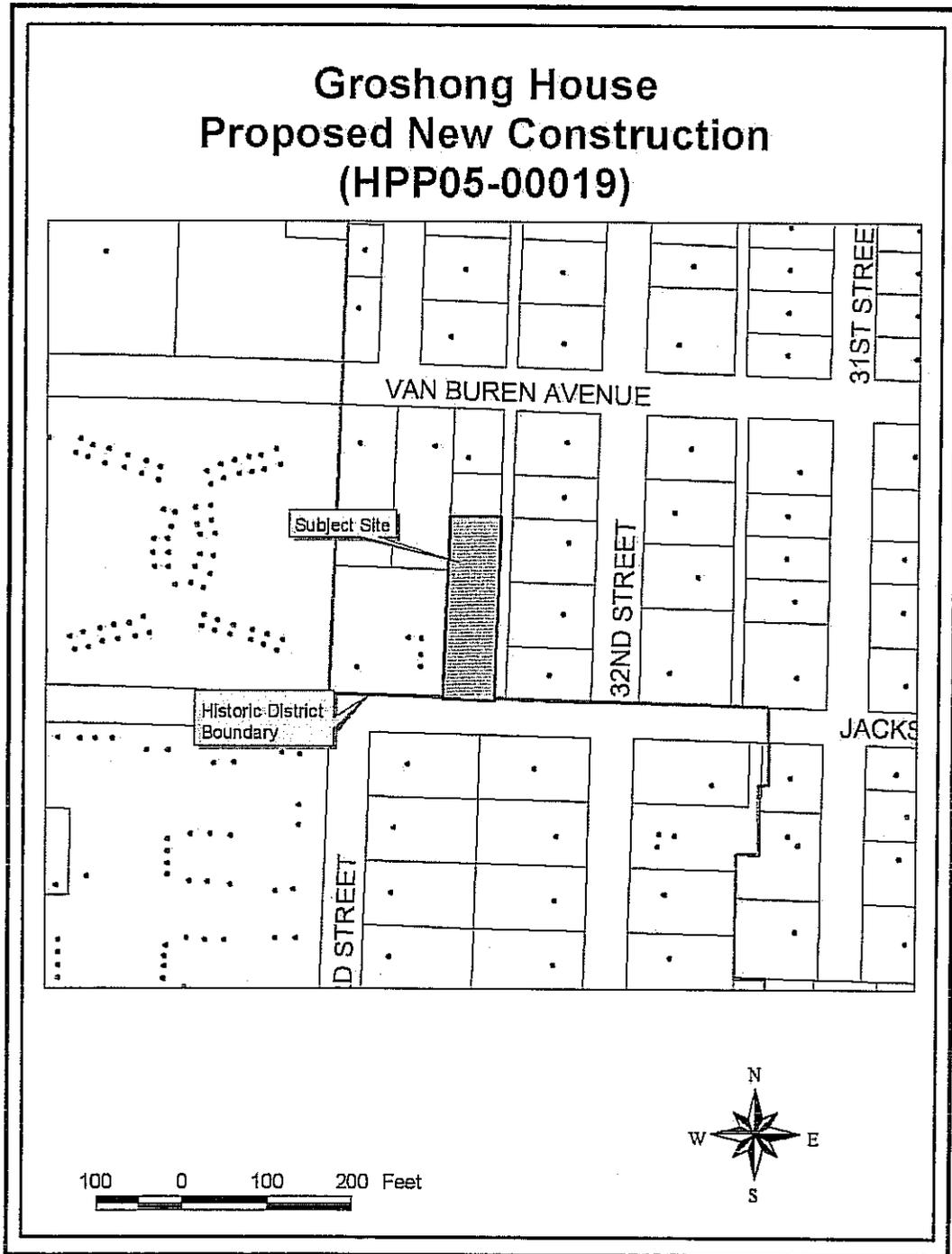
APPEALS:

If you wish to appeal this decision, the appeal must be filed within 12 calendar days from the date of the Director's decision. When the final day of the appeal period falls on a weekend or holiday, the appeal period shall be extended to 5:00 p.m. on the subsequent working day. All appeals must be submitted in writing to the City Recorder and they must explain the specific grounds for appeal. If you have any questions about the appeal process, contact this office at 766-6908.

Date of Mailing: August 9, 2005
Appeal Deadline: August 21, 2005

ATTACHMENTS: A. Applicant's narrative
B. Site Plan and Elevations

- ATTACHMENTS:** A. Applicant's narrative
B. Site Plan and Elevations



NARRATIVE

Randy & Mary Law
3257 NW Jackson Ave.

Our plan is to do the following:

Remove approximately 18' exterior kitchen wall, adding post and beam to support 2nd story.

Form and pour footing and stemwall to be attached to existing basement wall. Stemwall height to match existing floor height. Suspended floor framing with minimum 18" vented crawlspace.

Wall height framed to match existing wall height (100").

Roof structure to match existing front porch: low slope hip roof with composition shingles.

Soffit and eave structure to match existing: 12" soffitted eave with 1" x 6" fascia.

Siding (stucco) to be synthetic stucco (EIFS) with 1" x 6" water table (approximately 32" above grade). Parging applied below water table to grade.

Exterior window trim is 1" x 5" with backband; will be matched with similar materials.

Windows to match existing:

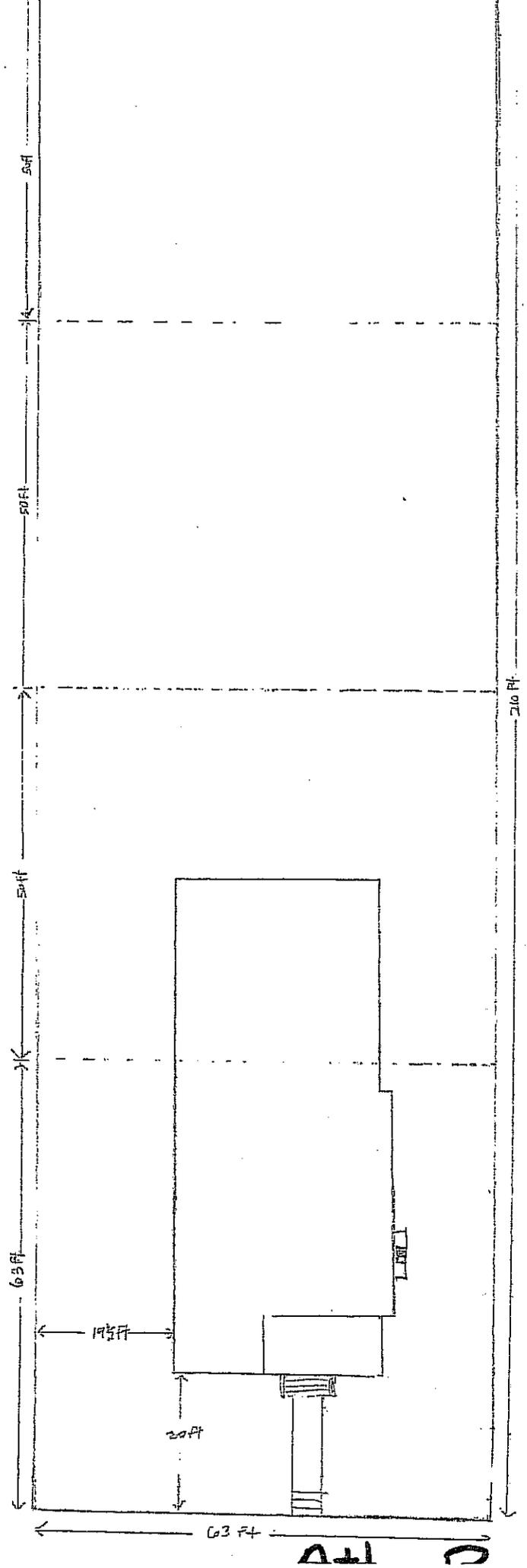
- Cottage style, 3 over 1 divided light.
- Approximately 2² x 4⁸; 24" above floor, head height 6' 8"
- 2 or 3 mullied together with 5" mullion
- The existing windows are wood double-hung single pane and will be recycled to Heritage House Parts. We would like to use architecturally correct vinyl windows, as this addition will sit back almost 40' from the curb and windows in an earlier addition are all vinyl.

You will see on the proposed site plan a "sports court." We would like to add to the rear of the property (an area that is currently unused and with no trees or shrubs) a concrete pad to be used as a play area for the owners and their children. The court is approximately 45' x 27' and will be 3" thick. The court will be lined for multiple activities as the children mature, and is not intended to have any structure over it. Access to the site is pedestrian only and through the owner's yard. There is no public visibility. The owner's driveway ends, with landscaping, at the end of the house; approximately 85' from the sidewalk and still 100' away from the court.

Attachment A

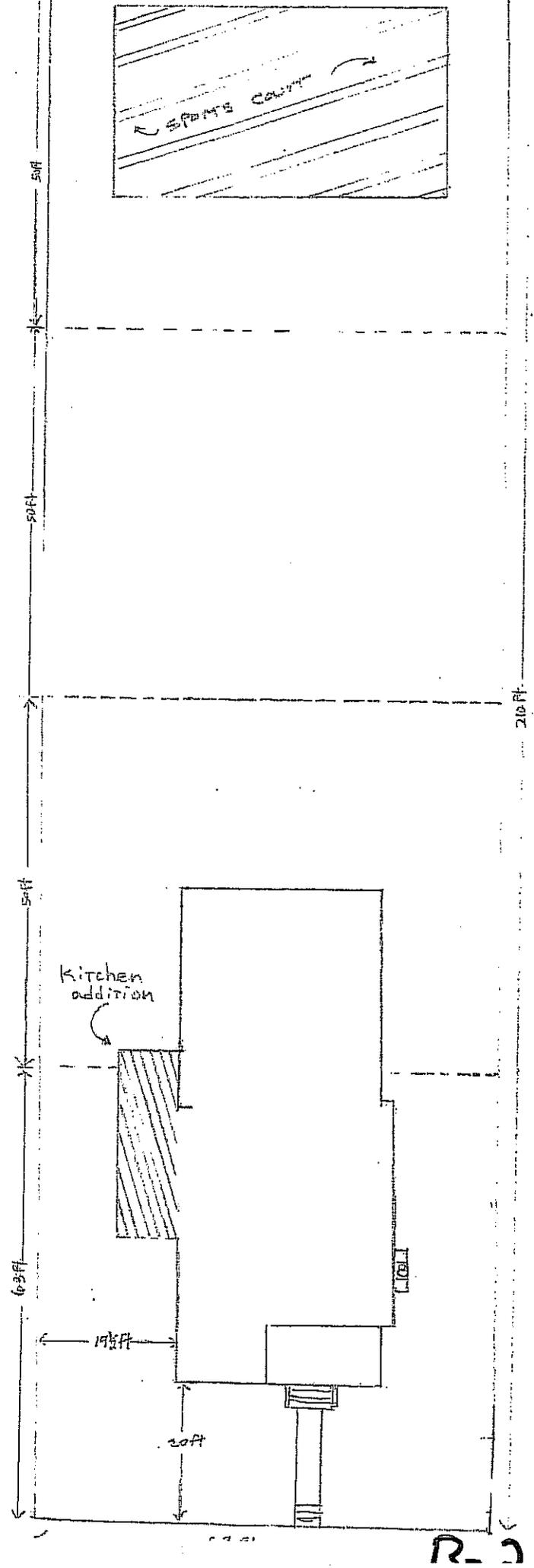
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EXISTING SITE PLAN





PROPOSED SITE PLAN

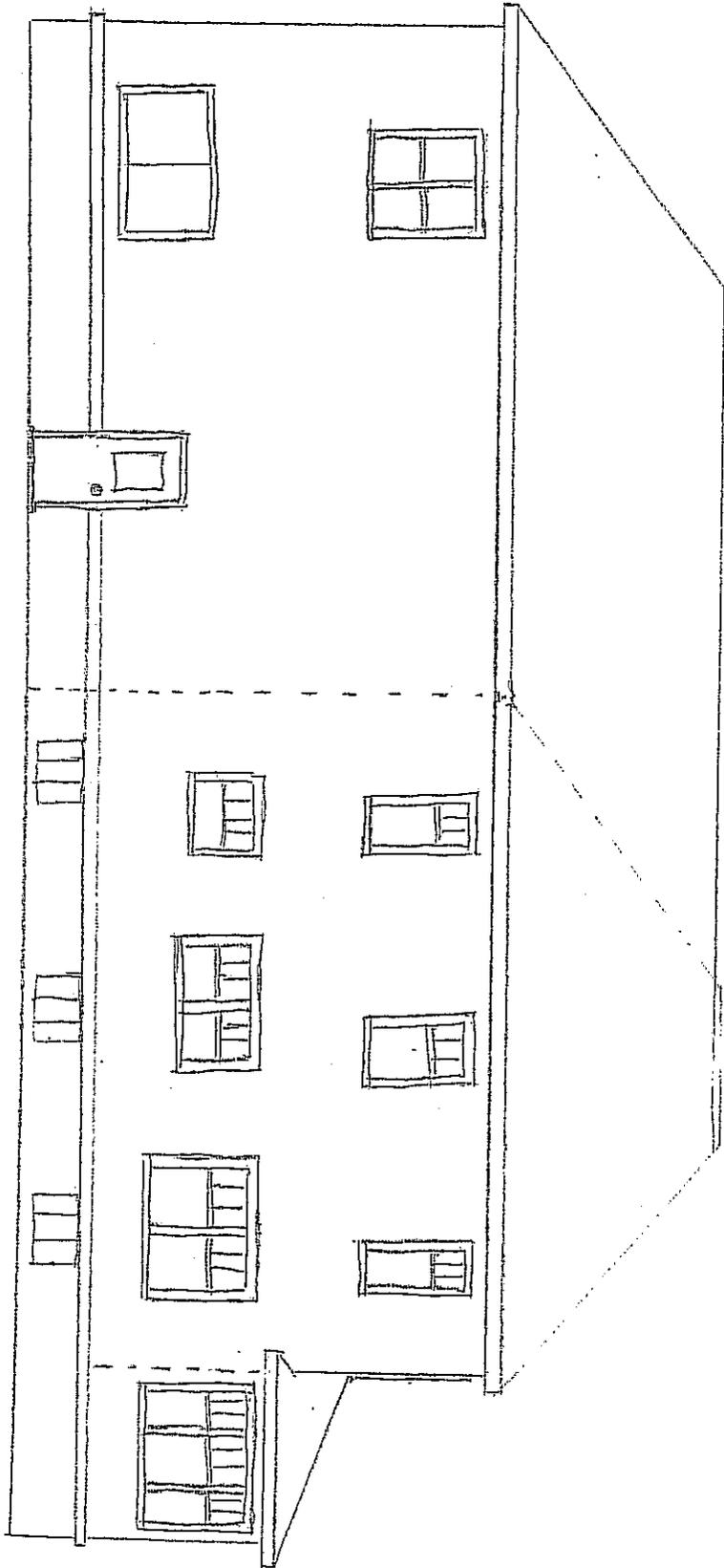


South Elevation - Existing

1/4" = 1'



West Elevation - Existing



South Elevation - Proposed

3/16" = 1'



WEST Elevation - Proposed

