



Community Development
Planning Division
501 SW Madison Avenue
P.O. Box 1083
Corvallis, OR 97339-1083
(541) 757-6908
FAX (541) 757-6936

July 14, 1999

Wolfgang Dilson
3490 NW Dimple Hill Drive
Corvallis, OR 97330

Dear Wolfgang:

Staff has reviewed your final plat for Suncrest Phase II-B and it appears as if several outstanding conditions need to be met before we file the final plat.

1. The plat is currently the security for the public improvements. Before the plat can be signed by the City Engineer, a City standard MIA or bond needs to be provided for the uncompleted remaining public improvements. The amount needs to be consistent with the attached estimate from PacWest Engineering, with the following adjustments: add funds for the grading and landscaping in the park strip along Walnut Boulevard; provide \$10,000 for punch list items. Note that both the bond and MIA need to provide 120% of the total construction cost.
2. US West has notified the City that service will not be provided to the subdivision until certain pedestals are relocated. Per Land Development Code Section 4.0.30.a.1, the franchise improvements need to be installed or secured prior to approval of the final plat. Before the plat can be signed by the City Engineer, this office must have letters from the franchise utilities verifying that respective services will be provided or the developer must secure (with the MIA or bond) all franchise utility work that needs to be completed in order to guarantee service to the subdivision.
3. On April 28, 1999 we issued a comment letter to John Stewart related to changes we recommended on the Landscape Plans. The following items are excerpts from that letter that have yet to be addressed. If you or John have any problems with these recommendations, please contact me and we can discuss them further. Otherwise, please make the following changes to the Landscape Plans:

Sheet 1

- A. Please add the following note to this sheet, "Permit approval of the entry kiosk, walls and signage are not part of these plans"

Sheet 2

- B. Please add three Acer Platinoides street trees adjacent to the easternmost triangular common area parkway. In the same area, extend the irrigation in the parkway

SCANNED
Date: 7/15/05 By: ECF

northwesterly to the corner.

- C. The pear trees planted along the two short cul-de-sacs are spaced 40 to 60 feet apart. Please add additional trees so that they are spaced 30-feet on center.
- D. The entire westerly street stub-out should be shown on the plan along with the entire lot frontages. This area should also contain additional street trees.

Sheet 3

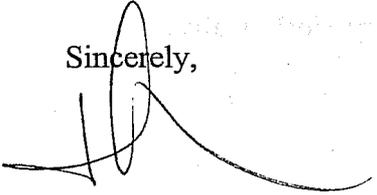
- A. The northernmost common areas will need additional vegetative cover to comply with our landscape coverage requirements. Please specify if groundcover or turf will be used under the trees in these common areas.
- B. Include the spacing in the legend for groundcovers.
- C. Please provide a tree and shrub planting detail.

General

- A. Add a north arrow to all sheets and a date for the most recent revisions.
- B. Please add the following notes to sheets 2 and 3:
 - 1. Planting beds shall have a minimum 2-inch top coat layer of bark mulch.
 - 2. Irrigation shall provide 100% coverage to planted areas.
- C. Please provide us with a cost estimate for installing improvements in all common areas. This would include planting, irrigation, kiosks, special paving, and asphalt walks under the oak trees.

Once you have made these revisions to the landscape plans, we suggest you re-submit them for final review and approval. Once approved, we will contact you immediately so that you can secure the bond for the improvements. After we receive the bonds or assurance for all the items mentioned above, we will have the City Engineer sign the plat and forward it to Benton County for filing. If you have any questions, please call me at 766-6908.

Sincerely,



David j. Dodson, AICP
Landscape Architect