

MEMORANDUM

To: File
From: - Bob Richardson, Assistant Planner
Date: February 25, 2005
Subject: HPP05-0005 L.P. Corda Arnold House - Background information

The materials submitted with this application reference alterations to a second window that is proposed to be enlarged. That proposal will be reviewed at the March 14, 2005 HPAB meeting. The applicant originally submitted one proposal for both windows. Because the alteration of the window referenced in this case/disposition was appropriate for Administrative Review, a separate application was filed.



City of Corvallis Historic Preservation Permit Application

RECEIVED

FEB 25 2005

Community Development

Community Development Department - Planning Division
501 SW Madison, P. O. Box 1083
Corvallis, OR 97339-1083
Phone: (541) 766-6908, Fax: (541) 766-6936
email: planning@ci.corvallis.or.us

Case Number HP05-00005 For staff use only Date Filed 2-25-05

Please tell us about your property and your request. Attach additional information, if necessary. If you have any questions, contact the Planning Division at (541) 766-6908.

1) **Historic Property Address/Location:** *(Or general vicinity, side of street, distance to intersection.)*
128 NW 28th Street Corvallis, OR 97330

Assessor's Map Number(s)*	Related Tax Lot(s)
1. <u>11534CA</u>	<u>1300</u> , _____, _____, _____
2. _____	_____, _____, _____, _____

*The Assessor's Map Number (Township, Section/Range) and the Tax Lot Number (parcel) can be found on your tax statement or at the Benton County Assessor's Office)

2) **Historic Name of the Property:** *(Available from Historic District nomination and/or inventory form. If you need assistance, contact staff.)* LP & Corda Arnold House

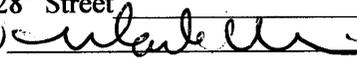
3) **Historic Property Information:** *(Check all that apply.)*

- Individually Significant Historic Resource:
- Local Register
- National Register
- Property is Located within a Historic District:
- Historic Contributing
- Historic Non-Contributing
- Non-Historic Non-Contributing

4) **Request:** *(Check all that apply. For further information, refer to checklist on page 4.)*

- Alteration
Type: Replace 1 non primary façade, non street visible window
- New Construction
- Demolish Historic Resource
- Move Historic Resource
- Establish Historic Designation
- Remove Historic Designation
- Reclassify Property within a Historic District

5) **Applicant Information:** *(Include all that apply.)*

Property Owner(s) Name: Mark & Leanne Giordono Phone 753.4479
Address 128 NW 28th Street E-mail giordono@sloan.mit.edu
Signature (Required)  Date 24 Feb 05

Applicant's Name: *(If different from owner)* _____ Phone _____
Address _____ E-mail _____
Signature _____ Date _____

Project Staff:

Developer _____ Phone _____

Engineer _____ Phone _____

Planner _____ Phone _____

Architect _____ Phone _____

Other Powell Construction Phone 752-0805

6) **Please provide a brief summary of the proposal:**

Replace 1 non-street facing non primary façade window with a new window that is lead free, energy efficient and of similar historical design and materials (double hung wood).

7) **Please describe how your proposal meets the review criteria that apply:** *(Lists of criteria are included in your application packet. If you prefer, you may describe this in the narrative describing your request.)*

As noted the proposal is to replace 1 non-street visible, non-primary façade window with a window of similar style and materials. The proposed new window is a Marvin Wood Ultimate Double Hung (pg 6-7). Marvin has a history of making windows that maintain the character of historic homes (one example, pgs 8-9). Like all the other windows in the Giordono home, the proposed replacement window is solid wood, inside and out. The exterior will be painted to match exactly the other windows of the home (exact paint of other windows is available). The exterior will not be metal clad or vinyl.

Window "A" is proposed to be replaced by a historically sympathetic wood double hung window in the exact same opening as the existing non-street visible window. It is located on the North Side wall, recessed away from the driveway, at least 30 feet from public right of way (see photos on pg 10).

8) Attachments:

Required: *(Please number all pages. All drawings should be shown to scale.)*

- Narrative regarding request. **(see pg 1)**
- Site plan - existing. *(Include any significant site elements such as fencing or significant trees and shrubs.)* **(see pg 14)**
- Site plan - proposed. *(Highlight items relevant to your proposal.)* **(see pg 14 – site plan doesn't change)**
- Elevation drawings - existing and proposed. **(elevation does not change)**

Optional: *(Please check all that apply.)*

- Photos
Photo(s) of your property/building(s), including trim details. **(see pg 17, 10, 11)**
 - *Photo(s) of surrounding homes/buildings.* **(see pg 18)**
 - *Photo(s) of structures in the area which are similar to the proposed structures.* **(see windows in pg 18)**
 - *Photo(s) of existing mature vegetation, fencing, etc., if relevant..* **(n/a)**
- Other: **Statement from lead risk assessor pg 2-3. Statement of support from historic district neighbors pg 4-5.**

Additional Requirements for permits evaluated by the Historic Preservation Advisory Board (HPAB):

The checklist on the following page will help you determine whether HPAB review is needed; however, contact the Planning Division at (541) 766-6908 if you have any questions.

9) Additional Attachments/Color and/or Oversize Attachments:

If any attachments are larger than 8 ½" x 14", or if you would like color copies to be distributed to the Board, please submit 12 copies of your attachments. **(b/w copies OK)**

10) Authorization for Staff and HPAB Members to Enter Land:

City staff and members of the Historic Preservation Advisory Board (HPAB) are encouraged to visit the sites of proposed developments as part of their review of historic preservation applications. Please indicate below whether you authorize City staff and HPAB members to enter onto the property(-ies) associated with this application as part of their site visits.

- I authorize City staff and HPAB members to enter onto the property(-ies) associated with this application ***if you call first*** (so that we can make sure the dog is inside).

11) Public Notice Signs:

If the application must be reviewed by the HPAB, the applicant is responsible for ensuring that up to three public notice signs are posted on the site at least 14 days prior to the HPAB meeting. Staff will prepare the signs and will let you know when the signs are ready to be picked up from City Hall.

Please indicate who will be responsible for posting any required signs:

Name: Mark Giordono
Phone: 753-4479

HISTORIC PRESERVATION PERMIT REQUEST CHECKLIST

(For Question #4. Check All That Apply. Relevant Review Processes Noted in Parentheses)

ALTERATION*:

✓ Individual Historic Resources**:

- ✓ Alteration involving replacement of similar or like materials. (DIR)
- Alteration involving replacement of dissimilar materials. (HPAB, with public notice)

✓ District Resources:

Non-Historic/Non-Contributing Resources:

- Exterior alterations involving replacement of similar or like materials. (DIR)
- Exterior alterations involving replacement with dissimilar materials or any new construction (less than 120 square feet) visible from a public right-of-way. (DIR, with site posted 14 days prior to decision)

Historic/Non-Contributing Resources:

- Exterior alterations involving replacement of similar or like materials, or alterations which restore the historical integrity. (DIR)
- Exterior alterations involving replacement with dissimilar materials or any new construction (less than 120 square feet). (DIR, with site posted)

✓ Historic/Contributing Resources:

- ✓ Exterior alterations involving replacement of similar or like materials, or alterations which restore historical integrity. (DIR)
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NEW CONSTRUCTION (HPAB, with public notice)

DEMOLISH HISTORIC RESOURCE (HPAB, with public notice and 45-day advance notice to State)

MOVE HISTORIC RESOURCE (HPAB, with public notice and 45-day advance notice to State)

ESTABLISH HISTORIC DESIGNATION (HISTORIC PRESERVATION OVERLAY) (LDHB, after HPAB review)

REMOVE HISTORIC DESIGNATION (HISTORIC PRESERVATION OVERLAY) (LDHB, after HPAB review)

RECLASSIFY PROPERTY WITHIN A HISTORIC DISTRICT (LDHB, after HPAB review)

DIR: Request is reviewed administratively, by Community Development Director.

HPAB: Request is reviewed by Historic Preservation Advisory Board at one of its monthly meetings.

LDHB: Request is reviewed by Land Development Hearings Board at a public hearing, typically on the first or the third Wednesday of the month.

*Ordinary maintenance or repair of any exterior architectural feature in or on any historic property, including painting, that does not involve a change in design, material, or external appearance is exempt from the need for City review. Exterior alterations to non-historic, non-contributing resources involving replacement with dissimilar materials or any new construction (less than 120 square feet) not visible from public right-of-way also are exempt.

**If a property is both an individual historic resource and is located in a Historic District, this section applies.

16 February 2005

To the Corvallis Historic Preservation Advisory Board:

Please find attached our proposal to maintain and enhance our "historic, contributing" home at 128 NW 28th Street in the College Hill West Historic District. Our proposal includes the replacement of two non-street facing kitchen windows and the enlargement of one of them. We believe the proposed changes are sympathetic to the house's character and make our home safer to live in while respecting the historic character of our home and neighborhood

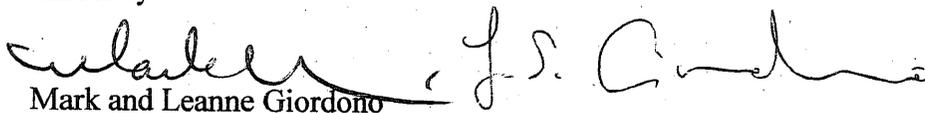
We moved into our home knowing that the kitchen needed to be updated. Lead paint is present on friction surfaces of the kitchen cabinets and windows. As soon-to-be parents of 2 children under 6, we hope to minimize risks to their health – having lead paint in a food preparation area is obviously of great concern. As noted in the attached letter from PBS Environmental, we understand that replacing the windows provides the best permanent lead abatement solution. (pg 2-3)

We realize that the windows in our home are one of the factors that contribute to its historic significance. The windows we propose to replace are not part of the primary façade of the home. They are not visible from the street, nor even by neighbors behind due to the position of our historic garage and hedges. In addition, as noted in the attached letter, our immediate neighbors and fellow historic home owners believe that our proposed changes would not have an impact on the character of the district or our home. (pg 3-4)

We will do everything practically and economically possible to ensure that our proposed changes are sympathetic to the character of the house. The replacement windows will be of similar material and style – double hung, Marvin quality wood windows, not box store vinyl, with wood, not aluminum clad exteriors. We believe that the enlarged window will more closely match the style of all the other windows in the home – multiple double hung windows next to each other. We will hire an experienced mason to ensure that any brick work matches exactly that around the other windows – especially the soldiering above and ledge below (please see attached statement on proposed mason).

We chose to move to Corvallis and locate in the College Hill Neighborhood because we value and hope to contribute to its unique character. We believe that our proposed changes, while clearly benefiting us, also enhance the character and quality of our neighborhood. We look forward to your advice and guidance.

Sincerely


Mark and Leanne Giordano

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FEB 22 2005



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Case Number HP05-00001

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Date Filed 2/22/05

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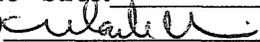
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Property Owner(s) Name: Mark & Leanne Giordono Phone 753.4479
Address 128 NW 28th Street E-mail giordono@sloan.mit.edu
Signature *(Required)*  Date 19 Feb 2005

Applicant's Name: *(If different from owner)* _____ Phone _____
Address _____ E-mail _____
Signature _____ Date _____

Project Staff:

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Engineer _____ Phone _____
Planner _____ Phone _____
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As noted the proposal is to replace 2 non-street visible, non-primary façade windows (enlarging one) with windows of similar style and materials. The proposed new windows are Marvin Wood Ultimate Double Hung (pg 6-7). Marvin has a history of making windows that maintain the character of historic homes (one example, pgs 8-9). Like all the other windows in the Giordono home, the proposed replacement windows are solid wood, inside and out. The exterior will be painted to match exactly the other windows of the home (exact paint of other windows is available). The exterior will not be metal clad or vinyl.

Window "A" is proposed to be replaced by a historically sympathetic wood double hung window in the exact same opening as the existing non-street visible window. It is located on the North Side wall, recessed away from the driveway, at least 30 feet from public right of way (see photos on pg 10).

Window "B" is proposed to be replaced by a historically sympathetic larger wood double hung window. It is located on the non-public visible West Side of the house (see photos on pg 11). The masonry will be professionally removed and toothed back into the new opening. The top soldier course and bottom details will be recreated exactly around the new window. Obrist Masonry – in business for over 25 years - will perform the masonry work (pg 12-13).

8) **Attachments:**

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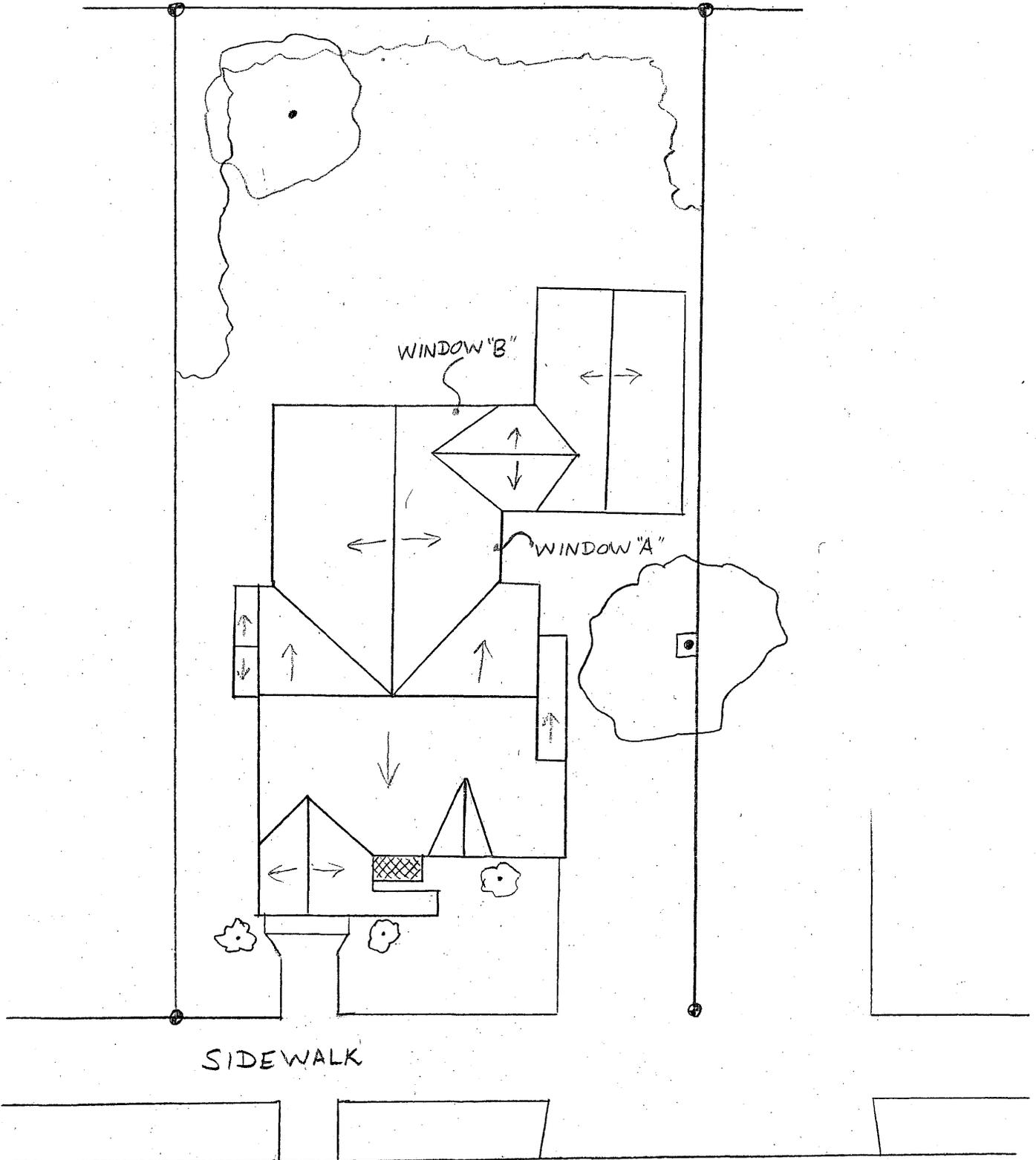
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SITE PLAN:

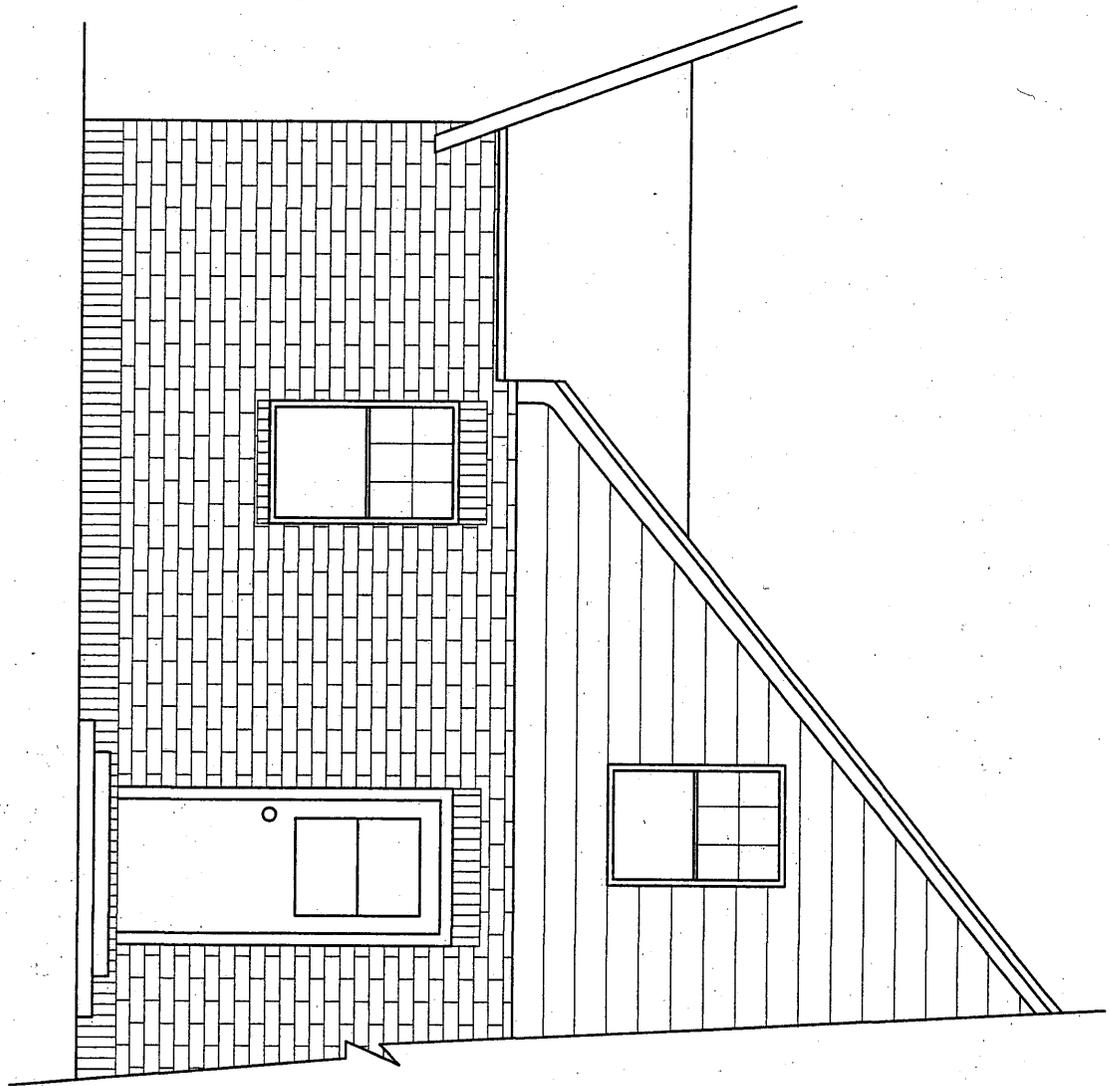


128 NW 28th STREET



 EXISTING BACK WINDOW

 SCALE: 1/4"=1'-0"



POWELL
Construction



2035 SE 3RD
 CORVALLIS, OR 97333
 PH: (541) 752-0805
 FAX: (541) 750-3892
 CCB#102594

DWG TITLE WINDOWS

GIORDONO WINDOWS

MARK AND LEANNE Hm: 757-7819
 128 NW 28TH ST Wk:
 CORVALLIS OR 97330 Fax:

LTR

SHEET 1

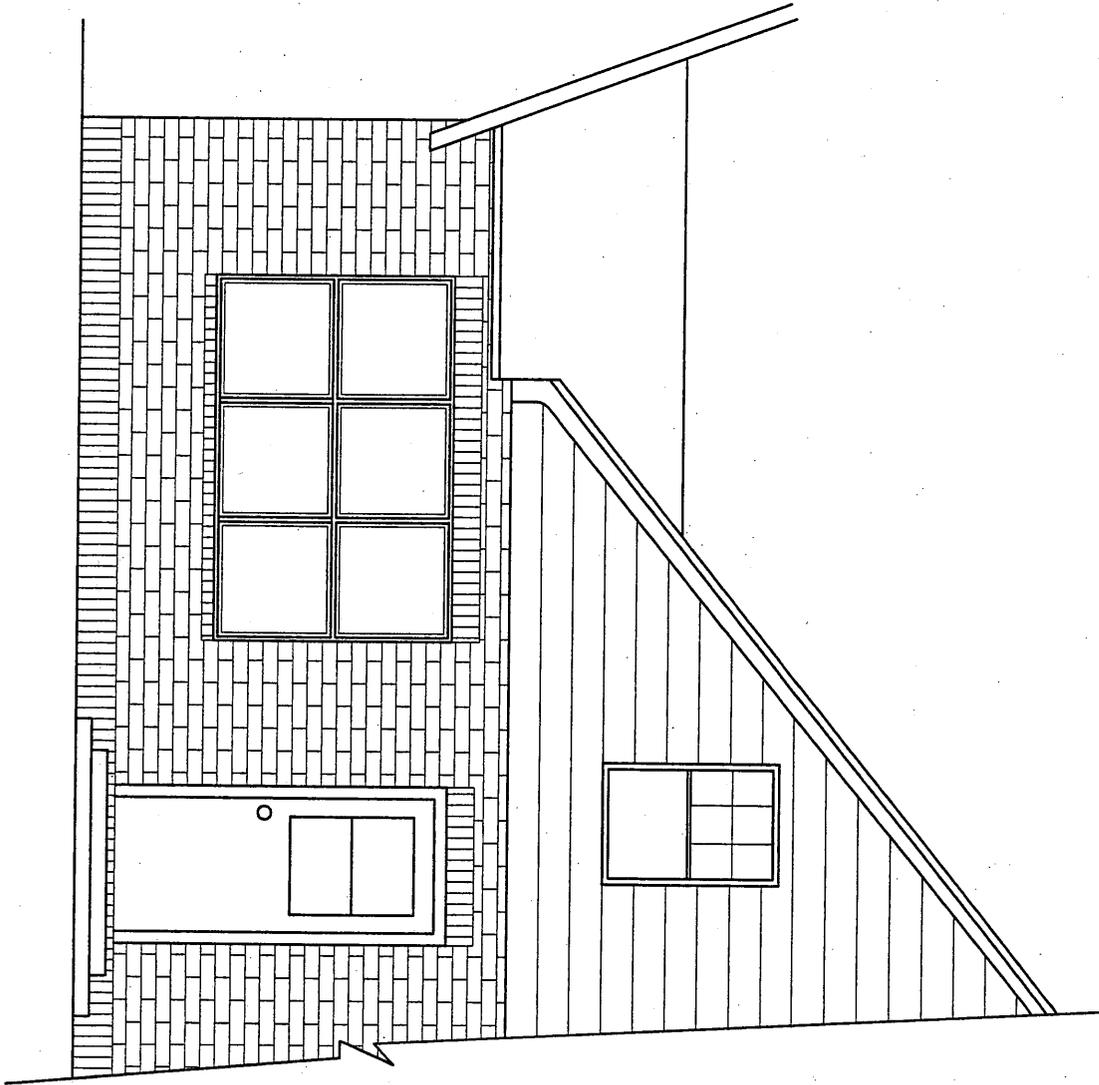
SCALE

1/4"=1'-0"

	DATE	BY
DWN	2/7/05	DF

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2
B
PROPOSED BACK WINDOW
SCALE: 1/4"=1'-0"



POWELL
Construction



2035 SE 3RD
CORVALLIS, OR 97333
PH: (541) 752-0805
FAX: (541) 758-3892
CCB#102594

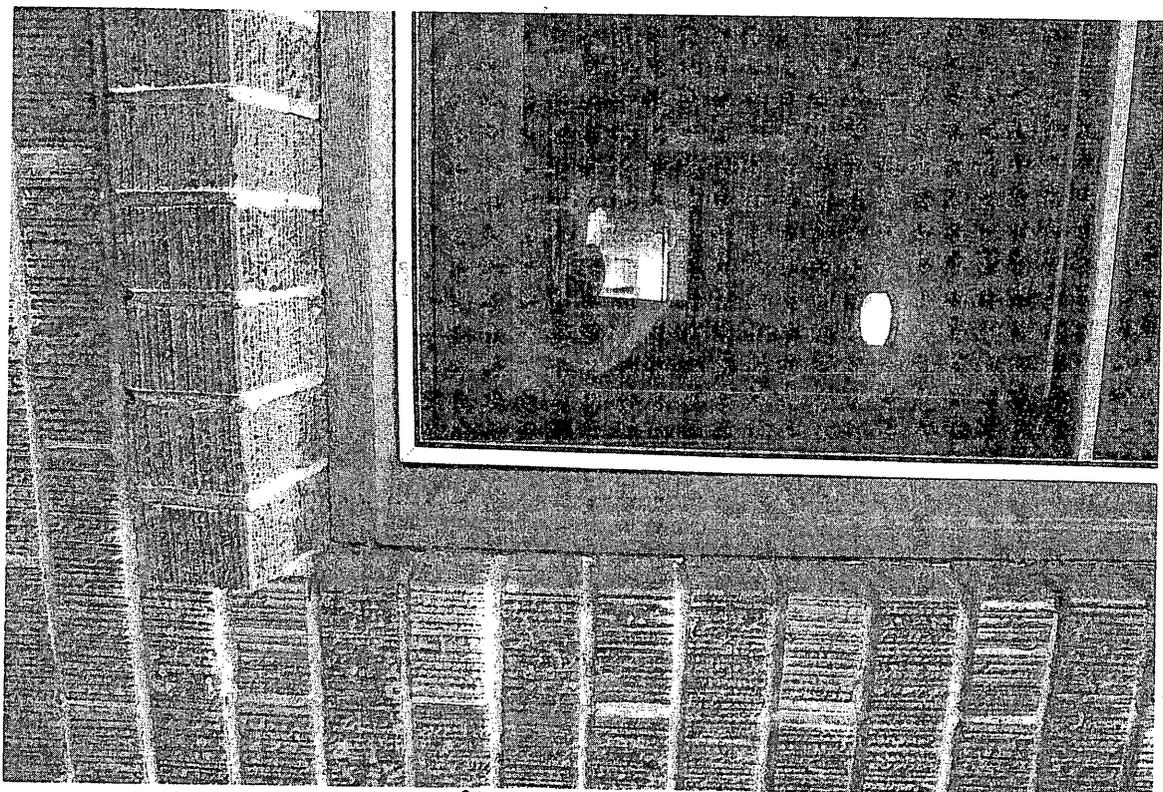
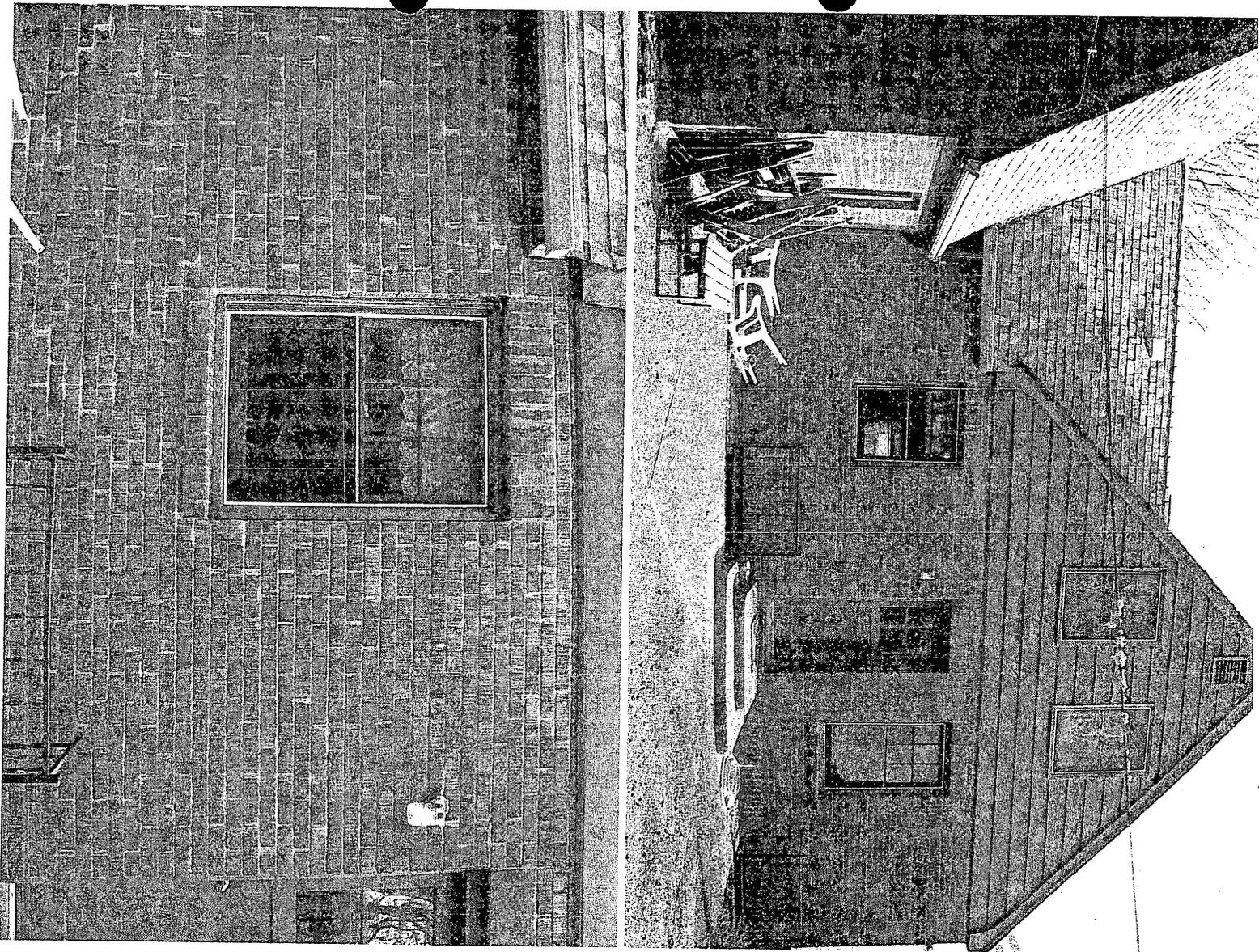
DWG
TITLE WINDOWS

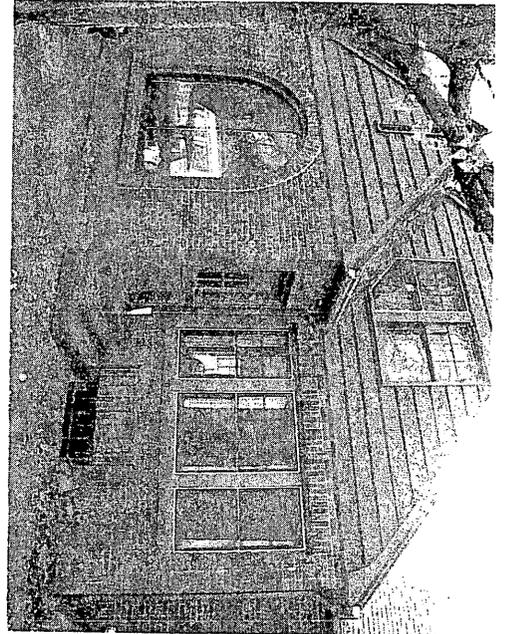
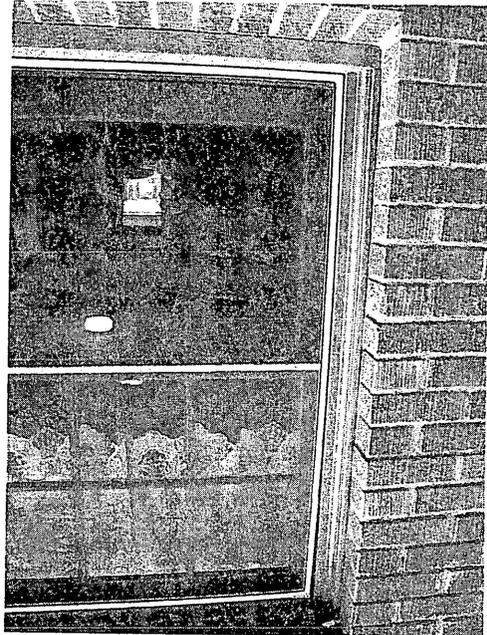
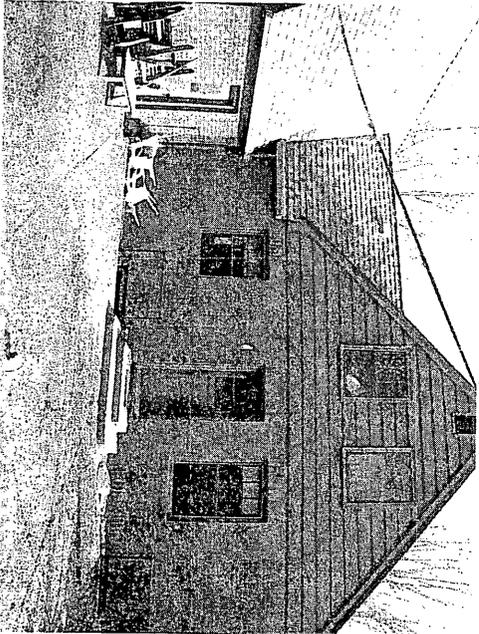
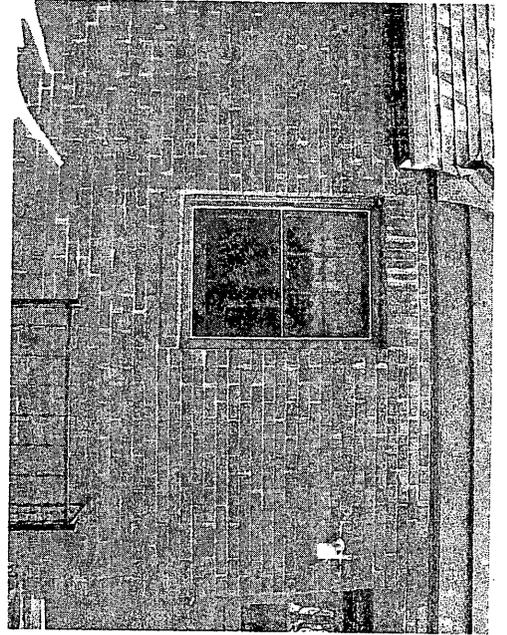
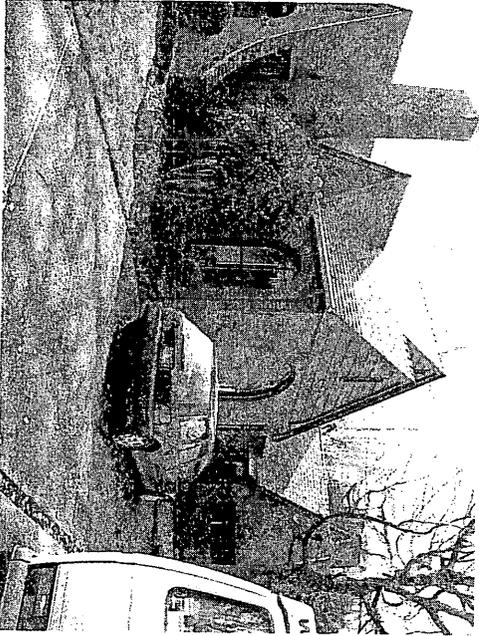
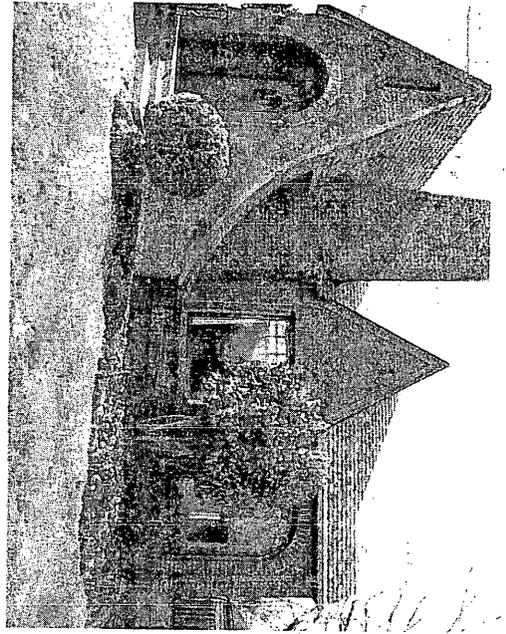
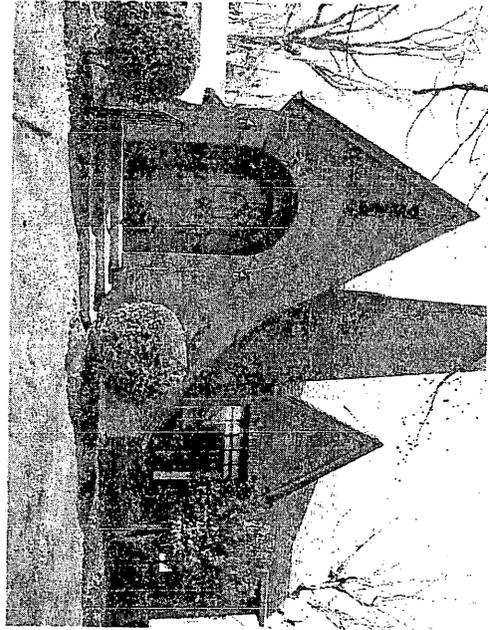
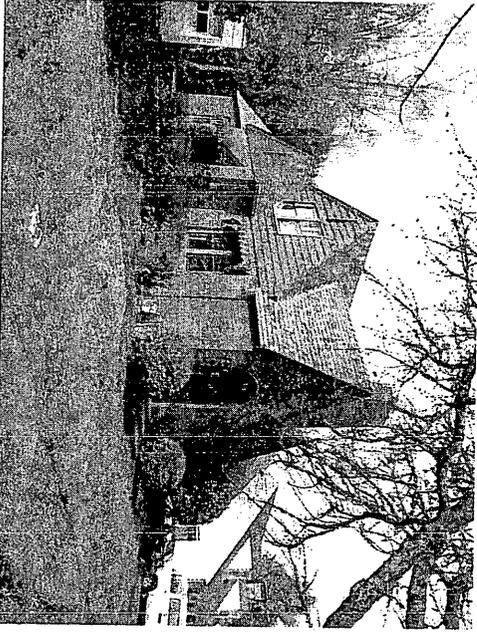
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CORVALLIS OR 97330 Fax:

LTR SHEET 2
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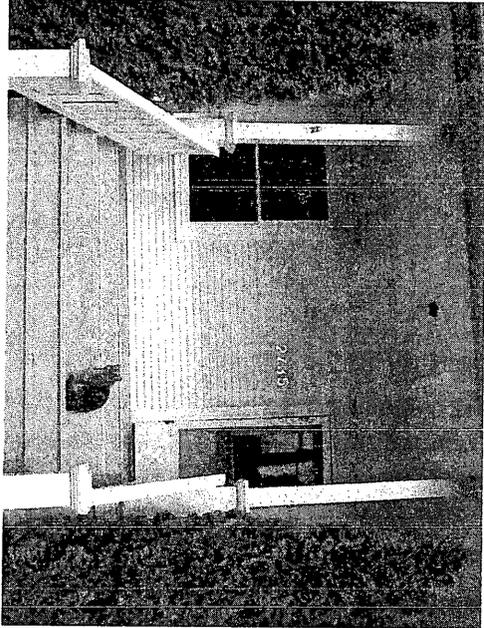
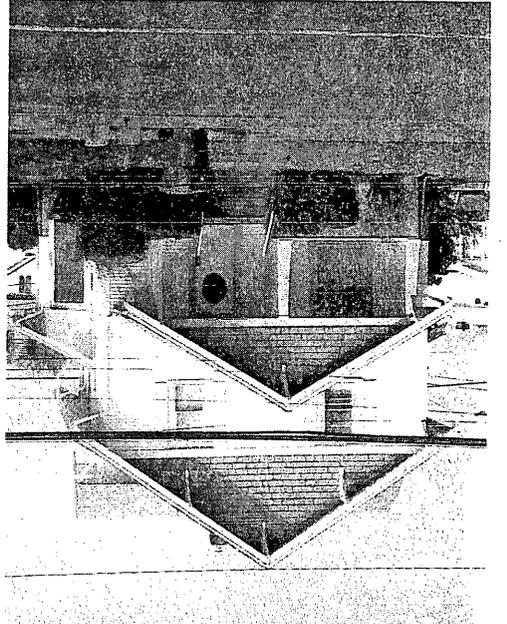
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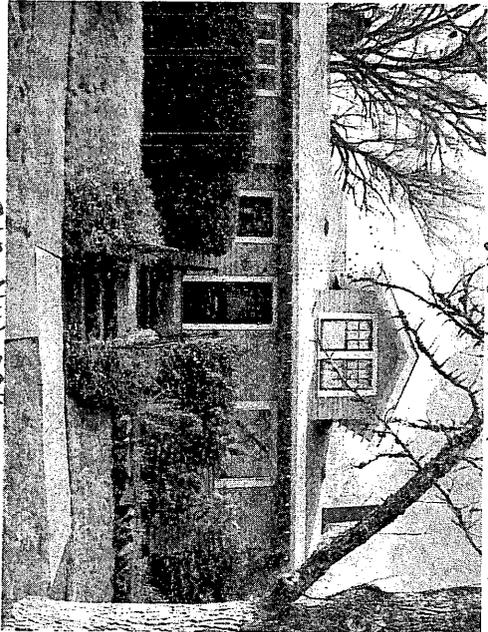
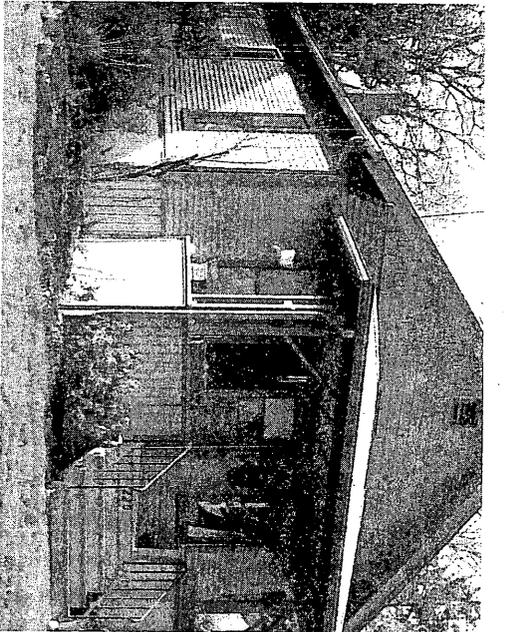




Arnold St



2735 NW Jackson

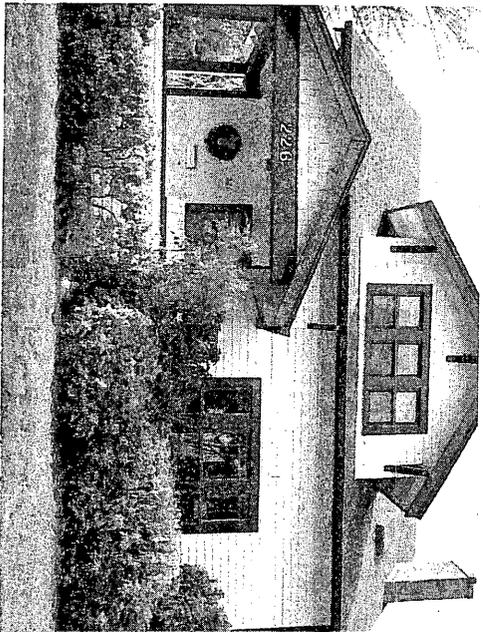


104 NW 29th St.

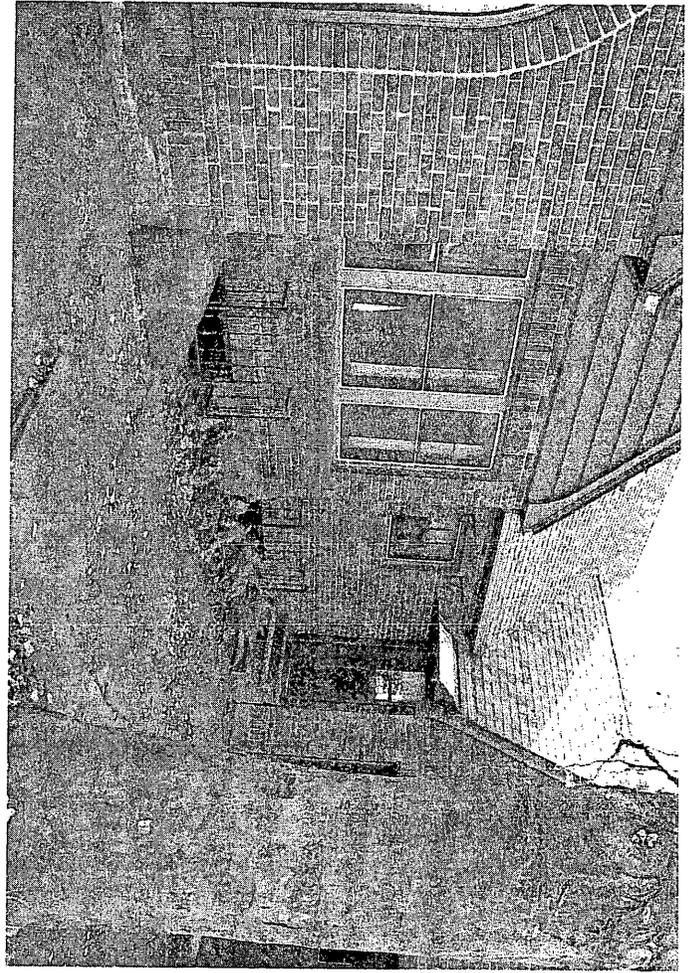
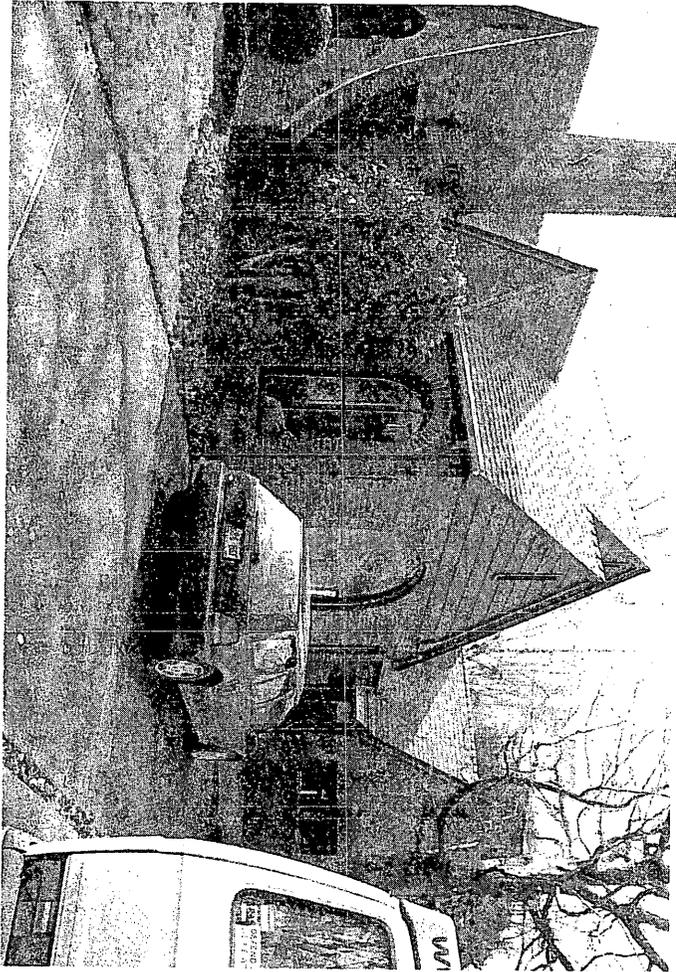
210 NW 29th

220 NW 29th

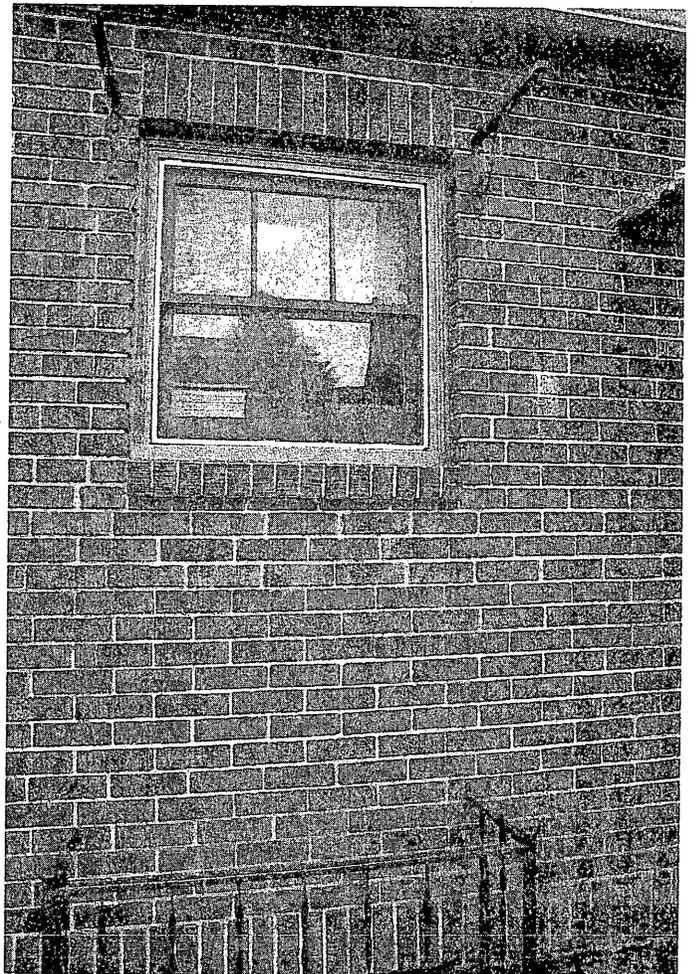
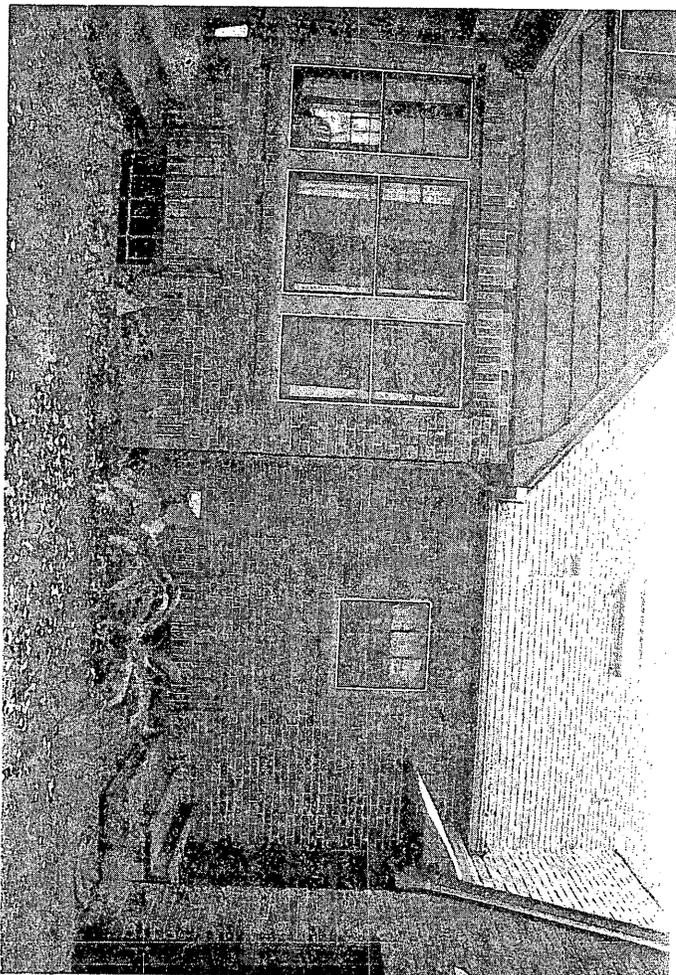
Other historic contributing
homes in the neighborhood



226 NW 29th St.

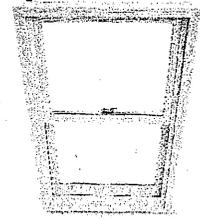


Window "A"



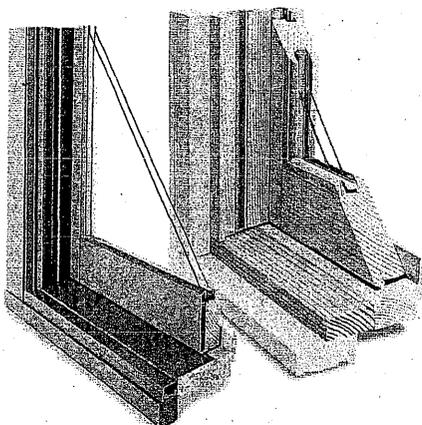
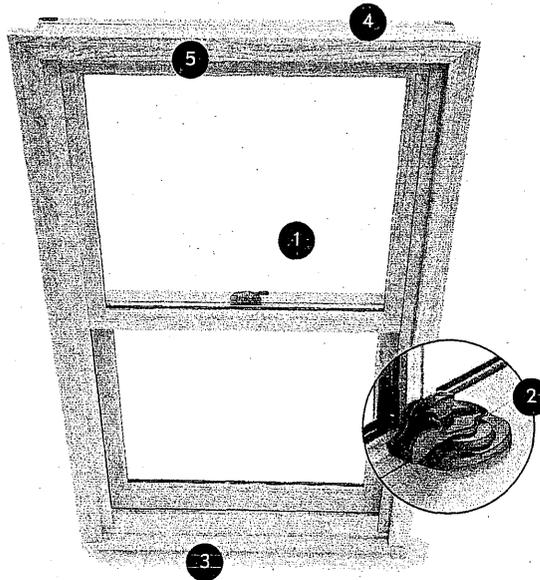
By redefining a traditional favorite, we've changed the way people look at windows. The Ultimate Double Hung – state-of-the-art window design combined with the style and beauty of an earlier era. The interior is exceptionally beautiful, offering authentic-looking lines and hardware, plus jambs that feature more wood than you've ever seen in a double hung. The Ultimate Double Hung offers you a choice of either wood or clad exteriors. *Propose wood exteriors.*

A traditionally styled lock offers an exclusive all-new tilt feature. Opening and closing the Ultimate Double Hung is simple, actually almost effortless. You need only a light touch to slide the sash up and down. And storm and screen combinations are available, as are glazing, lite patterns, picture/transom unit options, round top variations, and different-sized sash such as in cottage-style designs.



Standard Features

- 1 Clear, one-lite insulating glass
- 2 Satin Taupe sash lock
- 3 8° sill bevel
- 4 4 9/16" (116 mm) jambs
- 5 All Wood Brick Mould Casing (wood units)
- 6 Screen
- 7 Vinyl nailing fin with drip cap (on clad units)
- 8 Bare wood interior
- 9 Beige jamb hardware



Shown with optional thick sill

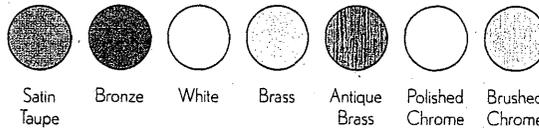
Hardware Selection



Sash Lock

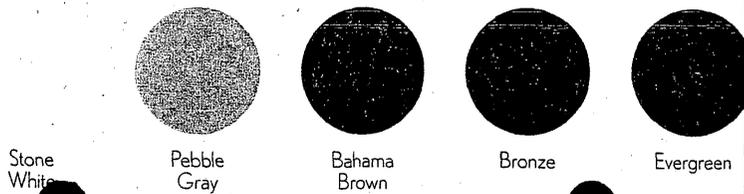


Sash Lift



Exterior Clad Colors

Proposing wood exterior



Ultimate Double Hung Options

- Sash lock available in seven finishes.
- Sash lift available in seven finishes.
- White jamb hardware.
- Interior wood stool for up to 6 9/16" (167 mm) jambs.
- Single hung conversion kit.
- Full or half screen available.
- 2" (51 mm) thick clad sill nosing.

Finish Options

- Interior – bare wood or prime.
- Exterior – extruded aluminum clad in five standard, five select and custom colors.

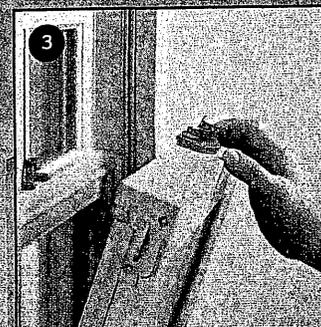
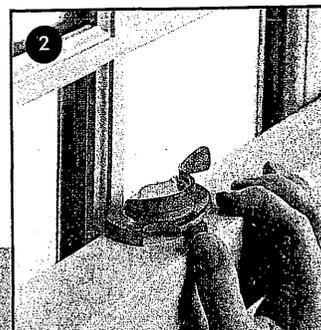
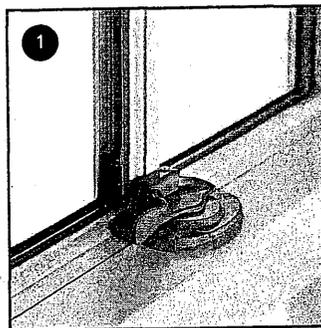
For a complete selection of options see pages 73-75



For details and sizing information, see pages 78-85.

The beauty of our Ultimate Double Hung isn't just skin deep, it has a performance rating of DP40* — that means it remains airtight and watertight, even standing up to 50 mph (80 kph) winds and eight inches (203 mm) of rain per hour. All in all, the perfect window. But you'll need to get your hands on one to see for yourself.

The photos to the right illustrate the sash in locked position, 2 unlocked position with tilt release open, and 3 sash tilting freely into the room.

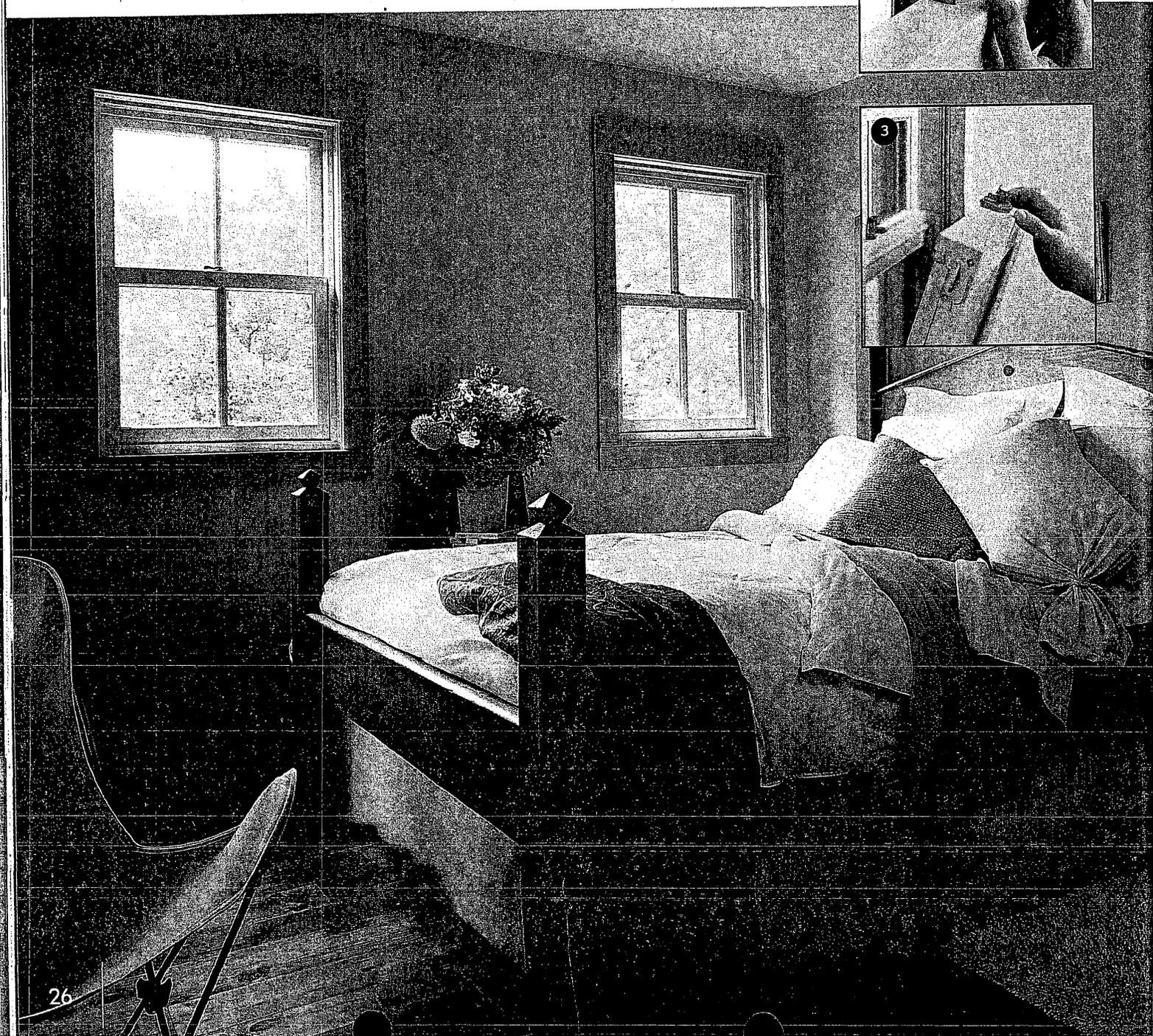


The durable engineering of this window means it will survive life's ups and downs beautifully. Even more amazing, you can release to tilt the lower sash using only one hand.

An exclusive tilt lever, cleverly hidden in the sash lock,** releases the top edges of the sash — so cleaning is easier than ever.

* Based on unit size.

** Exclusive patented sash tracking and locking system.





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 About Marvin | **Dream Dream** | **Windows** | **Doors** | **Custom Solutions** | **Learn** | **Where to Buy**

THE PHILHOFER INVER GROVE HEIGHTS, MN, USA

Architect Firm: Mulfinger, Susanka & Mahady

Architect: Katherine Cartrett

Contracting Firm: Choice Wood

Contractor: Nick Smaby

The Home: This exclusive Hunting Lodge was built in 1930. In the early 50's, the lodge was converted to a single family residence. Since that time, more than 40 years of paint, plasterboard and paneling had all but hidden the original elegance of the hunting lodge. In 1991, the new owners began renovating the lodge. They asked architect Katherine Cartrett of Mulfinger, Susanka and Mahady to recapture the original rustic charm of the dwelling.

The Considerations: Strict design criteria that could enhance and recapture the essence of this unique home, including historical reproduction.

Made for you Advantage: Because the project called for custom windows and doors that met specific design criteria, the owners asked to talk with Marvin. The first step was an on-site meeting. Nick Smaby from Choice Wood Custom Residential Remodelers was there along with representatives from the Marvin dealer and distributor.

Originally, Marvin was specified only to manufacture eight sliding French doors. The owner requested sliding doors that could easily open to create an over-sized wall opening. The Marvin sliding French doors were key to the concept, with their ease of use and elegant design.

After this success, it became apparent that Marvin was also the perfect choice to replace the home's aging windows. Again, the owner wanted the windows to look identical to the originals. The home owners needed a combination of new windows and replacement sash - 46 windows in all. Marvin's designers were there every step of the way to help ensure that the window was created exactly to the home owner's specifications.



Clip Open What's T



Resolution: Today the elegant character of the 1950's Hunting Lodge has been returned and beautified with the help of the high quality products used to meet the strict design criteria.

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PORTLAND
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EUGENE
BEND
TRI-CITIES

February 15, 2005

Leanne & Mark Giordono
128 NW 28th Street
Corvallis, OR 97330

ATTN: Leanne & Mark Giordono

Re: **Lead hazard prevention strategies at 128 NW 28th Street, Corvallis, Oregon
50864.000**

Dear Mr. & Mrs. Giordono,

In August of 2004, I conducted a XRF testing of painted components and collected dust wipe samples from likely contaminated areas within 128 NW 28th Street in Corvallis, Oregon. The window sashes and frames were among the components found to be treated with lead-based paint, and dust wipe samples collected from windowsill surfaces revealed detectable leaded dust levels. In one location, the leaded dust level was above the HUD clearance level for leaded dust on windowsill surfaces.

The original double hung windows installed within this residence have paint on paint friction surfaces that are treated with lead-based paint. These windows likely produce leaded dust each time the window is operated which precipitates on horizontal surfaces in the vicinity of the window. This represents a potential for leaded dust hazards to occupants within the home.

There are many options indicated by HUD for control of lead hazards within the home. According to the HUD guidance document "Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing", Chapter 12, Section II, "Component replacement is the most desirable abatement method because it offers a permanent solution to the lead-based paint problem. If done properly, it also minimizes contamination of the property and exposure of the workers."

2845 Wilamette St.
Suite A
Eugene, OR 97405
541.686.8894 PHONE
541.686.4502 FAX

ENGINEERING AND ENVIRONMENTAL

www.pbseuv.com

February 15, 2005
Lead Hazard Control at 128 NW 28th Street
Corvallis, Oregon
Page 2 of 2

During our last discussion, you informed me that your home is considered a historic home. According to the above referenced document in Chapter 18, Section VII, "If elements are too deteriorated to withstand paint removal or if they contain friction surfaces, it may be possible to replace these elements with new elements without threatening their historic integrity. This is particularly applicable to historic double hung wooden window sashes." Chapter 18, Section VIII states, "Retention of the maximum amount of historic materials as possible is the goal of historic preservation; however, it need not be an obstacle to providing a lead-safe housing unit."

For additional information or to view the referenced documents, please refer to:

www.hud.gov/offices/lead/guidelines/hudguidelines/index.cfm

Please refer to the attached copy of the paint testing report for specific information regarding lead-based paint and components within your home. Please feel free to contact me should you have any questions.

Sincerely,



Adam Jones
Lead Inspector/Risk Assessor #1439

License Search - Results

LICENSE NUMBER: 28328

NAME: OBRIST MASONRY INC

ADDRESS: PO BOX 1659 CORVALLIS OR 97339

WORK PHONE NUMBER: 5417531975

LICENSE STATUS: Active **ENTITY TYPE:** Corporation

EXPIRATION DATE: 5/24/2005 **LICENSE CATEGORY:** Specialty Contractor/All

DATE FIRST LICENSED: 5/24/1979

EMPLOYER STATUS: Non-Exempt (Has Employees - Must Have Workers' Comp Coverage)

BOND COMPANY: Call CCB - (503) 378-4621

INSURANCE COMPANY: AMERICAN STATES INSURANCE COMPANY

BOND AMOUNT: \$ 10000

INSURANCE AMOUNT: \$ 1000000

BOND EFFECTIVE TO: 5/24/2005

INSURANCE EFFECTIVE TO: 1/2/2006

Associated Name Information

License Number	Name	Description
28328	PEGGY ANN OBRIST	Corporate Officer
28328	RICHARD DEAN OBRIST	Corporate Officer

Bond Information

License Number: 28328

Company Name: Call CCB - (503) 378-4621

Bond Number: Call CCB - (503) 378-4621

Bond Amount: 10000

Bond Effective Date: 5/24/2001

Cancellation Date:

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Insurance Information

License Number	Insurance Company	Policy Number	Policy Amount	Effective From	Effective To
28328	16 - AMERICAN STATES INSURANCE COMPANY	01CG2948383	1000000	1/2/2005	1/2/2006
28328	16 - AMERICAN STATES INSURANCE COMPANY	01CG2948382	1000000	1/2/2004	1/2/2005
28328	16 - AMERICAN STATES INSURANCE COMPANY	01CE3890521	1000000	1/2/2003	1/2/2004
28328	27 - CONTRACTORS BONDING & INS CO	INSHA3458	1000000	8/17/2002	8/17/2003
28328	92 - TRUCK INS EXCHANGE	034855765	1000000	8/17/2000	8/17/2002
28328	92 - TRUCK INS EXCHANGE	34855765	500000	8/17/1998	8/17/2000
28328	31 - FARMERS INS CO	34855765 *	500000	8/17/1993	10/10/2010

Specialized Training Information

Name

Description

No records returned.

DISCLAIMER: Information concerning contractor credentials and specialized training has been obtained by the Construction Contractors Board (CCB) from contractors who want this information noted in their licensing records. The contractor must also notify the CCB if the credential has expired or terminated. As a result, the CCB does not warrant or guarantee the existence or accuracy of the information about the credentials or specialized training.

SIC Codes

SIC Code

Description

1741

Masonry And Stone Work

For information on the claim history of a contractor, please return to the previous web page and click on 'View Claims History.'

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