



City of Corvallis

Development Services Division
501 SW Madison Avenue, PO Box 1083, Corvallis, OR 97339
Office: 541-766-6929 FAX: 541-766-6936
Automated Inspection Request Line: 541-766-6745

Sign Permit Number: SGN15-00022

Site Address: 3701 SW WESTERN BLVD

Applicant:

RETREAT AT OAK CREEK LLC
CHARLIE WHALEN
455 EPPS BRIDGE PKWY, BLDG 100
ATHENS, GA 30606

Contractor:

COLLEGIATE CONSTRUCTION LLC
1551 JENNINGS MILL ROAD SUITE 2400A
BOGART GA, 30622

Project Description:

Monument Sign #1 - (OSU) 35th & Sagebrush

Sign Information:

New Business.:	Yes	Height-Bottom:	1.5
Replace Existing Sign:	No	Height-Top:	4.5
Type of Sign:	Monument	Development District:	RS - 12
		Property Frontage:	320
Historic Building:	No	Proposed Sign Area:	12
Horizontal Dimension:	4	Illuminated:	Yes
Vertical Dimension:	3		

Setback Information:

Vision Clearance Considerations:	Yes
Setback-Curb:	34
Nearest Pole Sign:	

This permit shall expire if a sign is not installed as approved within 180 days from the date of sign permit approval. I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

Expiration date: 8/30/2015

Permittee's Signature

April 17, 2015

Date Issued



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Condition Type	Conditions of Approval
LDC	<p>1 0090 LDC Exterior Lighting</p> <p>All exterior lighting shall be concealed or shielded to the maximum extent feasible. This is demonstrated by using fully shielded fixtures, or ensuring that bulbs of light fixtures are not visible from adjacent properties when evaluated from a point four feet above the ground.</p>
	<p>2 0010 LDC SGN Total Sign Allocation</p> <p>Based on a Primary Frontage of 320 feet, the maximum amount of signage allowed on the subject site is 480 sq. ft.</p> <p>Sign allocation used by existing signage is 12 sq ft.</p> <p>Total remaining allocation available for site: 468 sq ft</p>
LDC SGN	<p>3 0020 LDC SGN Electrical Permit Required</p> <p>Illuminated signs require a separate electrical permit.</p>
	<p>4 RS-12 sign requirements</p> <p>LDC 4.7.90.01.b.3 Where primary frontage exceeds 100ft: a) Permanent monument signs are allowed - minimum setback is five ft.; b) Maximum height for temporary and monument signs is six ft.; c) Maximum Sign Area is 16 sq. ft.; and d) Illuminated signs are permitted.</p>
	<p>5 Separate Building Permit Required</p> <p>If Proposed stone wall is greater than 7 feet a separate building permit will be required.</p>
	<p>6 Sign Easement</p> <p>Sign is located on OSU property. An easement has been recording granting permission to located the sign on the property at 35th and Sagebrush.</p>
	<p>7 Sign location - Fence requirements</p> <p>Signs will be located on proposed stone wall / fencing as depicted in permit plans. The stone wall shall be located outside of any required vision clearance area.</p> <ul style="list-style-type: none"> • Any fence located within the vision clearance area shall not be greater than 2 feet in height. • Any fence located within the 10 foot front/side setback shall not exceed 4 feet in height. • Any fencing outside the 10 foot setback that is greater than 7 feet in height requires a permit. • All signs/fencing shall be outside of storm-water/water-quality swales. • All signs/fencing shall be outside of floodplain, significant vegetation, and identified wetlands at the site. • Site is located within the Highly Protected Riparian Overlay. All signs/fencing shall be located outside the required 100ft buffer from top of bank (adjacent stream).
	<p>8 Survey verification</p>

LDC SGN		Survey submitted to verify that sign is located outside of protected riparian 100ft buffer.



RECEIVED
MAR 03 2015
DEVELOPMENT SERVICES

Sign Permit Application

Site & Applicant Information

Street Address

Benton County Assessor's Parcel #

3701 SW Western Blvd.
Tax Lot 1100 and 1200

Applicant Name

Mailing Address
City, State and Zip Code
Email
Phone

Collegiate Construction
1551 Jennings Mill Rd., #2400A
Bogart, GA 30622
toby@collegiateconstruction.com
706-338-1721 Fax N/A

How do you prefer to be contacted ?:

Email Mail Phone

Sign Contractor Name

Mailing Address
City, State and Zip Code
CCB License #

Collegiate Construction
1551 Jennings Mill Rd., #2400A
Bogart, GA 30622
0199542

Property Owner Name (if different than Applicant)

Mailing Address
City, State and Zip Code

Landmark Properties
455 Epps Bridge Pkwy - Bldg 100, Ste. 201
Athens, GA 30606

Property Sign Allocation Summary

Zoning District

RS-12

Length of Property Line at Primary Frontage (count both property lines for corner lot):

320

100 feet

Primary Frontage Multiple

Property Sign Allocation

~~42~~ 480 Ft square feet

Total of All Existing Signs

0 square feet

Remainder of Allocation

~~12~~ square feet

Proposed Sign

Type of Sign

: Attached Free-Standing Temporary Banner

Horizontal Dimension of Sign

4 feet

Vertical Dimension of Sign

3 feet

Sign Area

12 sq. ft. (Actual Sign)

Proposed Sign (cont.)

Height to bottom of sign (from finish grade) 1 feet
Height to top of sign (from finish grade) 5 feet

Sign material(s): Rough Cut Cedar and Stone

Attached - Projecting Sign Specifications

Distance between building wall and inside edge of sign _____ inches
Distance between building wall and outside edge of sign _____ inches
Horizontal distance between outside edge of sign and street curb _____ feet

Free-Standing Sign Specifications

- Signs over 6 feet in height require submittal of wet-stamped engineered footing calculations
- A footing inspection is required prior to installation of the sign
- Sign installation must meet the City's vision clearance standards

Distance to property line _____ feet
Distance to curb _____ feet
Distance to Nearest Free-standing sign _____ feet

Temporary Banner Sign Specifications

Maximum Sign Area of 16 square feet (sign to be removed after 30 days) P1P2P3
 Maximum Sign Area of 100 square feet (sign to be removed after 7 days) P1P2

Additional Information

New Business: Yes No
Replacing Existing Sign: Yes No
Historic Structure / Property: Yes No HPP Case # _____
Illuminated: Yes No ELP Case # _____
 No

Signature of Applicant 

STAFF USE ONLY

Case Number **SGN** _____ - _____ Application Submittal Date _____
 Fee Paid Amount _____
Receipt # _____ Check # _____ Credit Type _____



After recording return to:

George B. Heilig
P.O. Box 546
Corvallis, OR 97339

This space reserved for recorder's use.

BENTON COUNTY, OREGON 2014-519448
DE-EAS
Cnt=1 Stn=41 COUNTER1 05/27/2014 01:09:44 PM
\$35.00 \$11.00 \$22.00 \$10.00 \$20.00 \$98.00



00281329201405184480070070

I, James V. Morales, County Clerk for Benton County, Oregon, certify that the instrument identified herein was recorded in the Clerk records.

James V. Morales - County Clerk



PRIVATE SIGN EASEMENT

KNOW ALL PERSONS BY THESE PRESENTS, that the STATE OF OREGON ACTING BY AND THROUGH THE STATE BOARD OF HIGHER EDUCATION ON BEHALF OF OREGON STATE UNIVERSITY ("Grantor") does hereby grant to RETREAT AT OAK CREEK, LLC, a Georgia limited liability company ("Oak Creek"), a non-exclusive, perpetual easement (this "Easement") on, over, under, and across that land in the City of Corvallis, Benton County, Oregon, more particularly described and depicted in Exhibits U-1 and U-2 (the "Easement Area"). This Easement is granted for the purpose of constructing, installing, maintaining, and replacing a sign (the "Sign") in the Easement Area identifying the real estate development to be constructed on property owned by the Oak Creek and described in Exhibit U (the "Oak Creek Property"), and shall be an easement appurtenant to the Oak Creek Property.

Grantor covenants that it is the owner in fee simple of the Easement Area and has good and legal right to grant this Easement.

The consideration for the grant of this Easement is the benefit to Grantor of certain public facilities to be constructed by Oak Creek on and adjacent to property owned by Grantor, at no cost to Grantor, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged.

This Easement is subject to the following conditions and provisions:

1. Oak Creek shall have the responsibility, right, privilege, and authority: (i) to construct and maintain the Sign and all related facilities within the Easement Area with all appurtenances incident thereto or necessary therewith, on, and across the said Easement Area; and (ii) to cut and remove from the Easement Area any trees and other obstructions which may endanger the safety or interfere with the construction, use, and maintenance of the Easement Area for the Sign or which may otherwise impair or obstruct the visibility of the Sign. To allow Grantor to provide for the safety of its employees and students, Oak Creek shall provide

Grantor with reasonable prior written notice of the scope and timing of Oak Creek's construction, maintenance, and other activities in the Easement Area. Such notice shall in no event be less than one (1) business day prior to the commencement of the activity; provided, however, that in emergency situations Oak Creek shall provide such notice within a reasonable time under the circumstances.

2. Oak Creek shall pay all costs related to the construction of the improvements contemplated in this Easement, it being the intent of the parties that such actions be at no cost to Grantor. Oak Creek agrees to reimburse Grantor for any costs imposed on or incurred by Grantor related to the construction of the improvements contemplated herein.
3. Except to the extent contrary to the purposes of this Easement, Oak Creek shall, upon each and every occasion that activities conducted pursuant to this Easement disturb any property owned by Grantor or any buildings or improvements on such property, restore what was disturbed to a condition as near as practicable to the pre-disturbance condition, and if not practicable, then pay to Grantor reasonable compensation for such conditions that cannot be practicably restored.
4. Oak Creek shall not commit waste to the Easement Area or to the detriment of Grantor, and shall not unreasonably interfere with the use by Grantor of any property owned by Grantor.
5. This Easement shall not prevent Grantor from using the Easement Area, provided that such use does not materially interfere with the rights granted to Oak Creek hereunder.
6. Oak Creek agrees to indemnify and hold harmless Grantor and its members, officers, employees, agents, students, licensees, and invitees (the "Grantor Indemnified Parties") against any and all damages, claims, demands, actions, causes of action, costs, and expenses of whatsoever nature which may result in an injury to or the death of any person(s) or from the loss of or damage to property of any kind or nature ("Claims"), when the Claims arise from use of, or actions related to, this Easement, or actions related to the installation and construction of any public or private improvements by Oak Creek; provided, however, Oak Creek shall have no obligation to indemnify any of the Grantor Indemnified Parties for any Claims to the extent that they arise due to the gross negligence or willful misconduct of the Grantor Indemnified Parties. This indemnity shall survive any termination or expiration of this Agreement.
7. Subject to the limitations of Article XI, § 7 of the Oregon Constitution and the Oregon Tort Claims Act (ORS 30.260 through 30.300), and within the limits of and subject to the restrictions in the Tort Claims Act, Grantor agrees to indemnify and hold harmless Oak Creek and its respective members, officers, employees, and agents (the "Oak Creek Indemnified Parties") against any and all damages, claims, demands, actions, causes of action, costs, and expenses of whatsoever nature ("Claims") arising from Grantor's and Grantor's agents, contractors, and employees use of, or actions in, the Easement Area; provided, however, Grantor shall have no obligation to indemnify any of the Oak Creek Indemnified Parties for any Claims to the extent that they arise due to the gross negligence or willful misconduct of the Oak Creek Indemnified Parties. This indemnity shall survive any termination or expiration of this Agreement.

8. Oak Creek shall comply with all applicable federal, state, county, university, and local laws, ordinances, policies, rules, and regulations.
9. No waiver, consent, modification, or change of terms of this Easement will bind either party unless in writing and signed by both parties. Any waiver, consent, modification, or change, if made, is effective only in the specific instance and for the specific purpose given.
10. It is intended that the rights and obligations of the parties set forth in this Easement shall be binding upon and inure to the benefit of Grantor and Oak Creek and their respective heirs, personal representatives, successors, and assigns, and shall be construed as both covenants and conditions that run with the land.
11. Nothing contained in this Easement shall be deemed to be a gift or dedication of any portion of the Easement Area to the general public or for any public purpose whatsoever, it being the intention of the parties that this Easement shall be strictly limited to and for the purposes expressed herein.
12. This Easement is effective on the date of last signature, and is perpetual.

[Signature page follows]

DATED this 21st day of MAY, 2014.

STATE OF OREGON ACTING BY AND THROUGH THE STATE BOARD OF HIGHER EDUCATION ON BEHALF OF OREGON STATE UNIVERSITY

W. Glenn Ford

W. Glenn Ford, Vice President for Finance and Administration

STATE OF OREGON)
)ss.
County of BENTON)

The foregoing instrument was acknowledged before me this 21st day of MAY, 2014, by W. Glenn Ford who acknowledged that he is the Vice President for Finance and Administration at Oregon State University and is authorized to grant this Easement on the State of Oregon's behalf



Melanie Rose

NOTARY PUBLIC FOR OREGON

My Commission Expires: 3/28/2016

RETREAT AT OAK CREEK, LLC

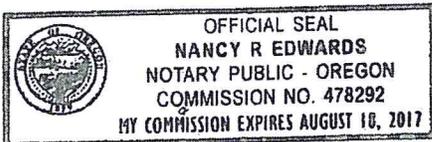
By: [Signature]
Name: T. Blair Sweeney
Title: Authorized Signatory

STATE OF Oregon)
)ss.
County of Benton)

The foregoing instrument was acknowledged before me this 21st day of May, 2014, by Blair Sweeney as Authorized Signatory of Retreat at Oak Creek, LLC.

NOTARY PUBLIC FOR Oregon

My Commission Expires: 8.18.17



Nancy Edwards, Notary

EXHIBIT U

Legal Description of the Oak Creek Property

Parcels 1 and 2 of Partition Plat 2007-21 as recorded in the Benton County, Oregon Deed Records.

EXHIBIT U-1
Description of a Sign Easement

Located in the northwest one-quarter of section 3, Township 12 South, Range 5 West of the Willamette Meridian, City of Corvallis, Benton County, Oregon.

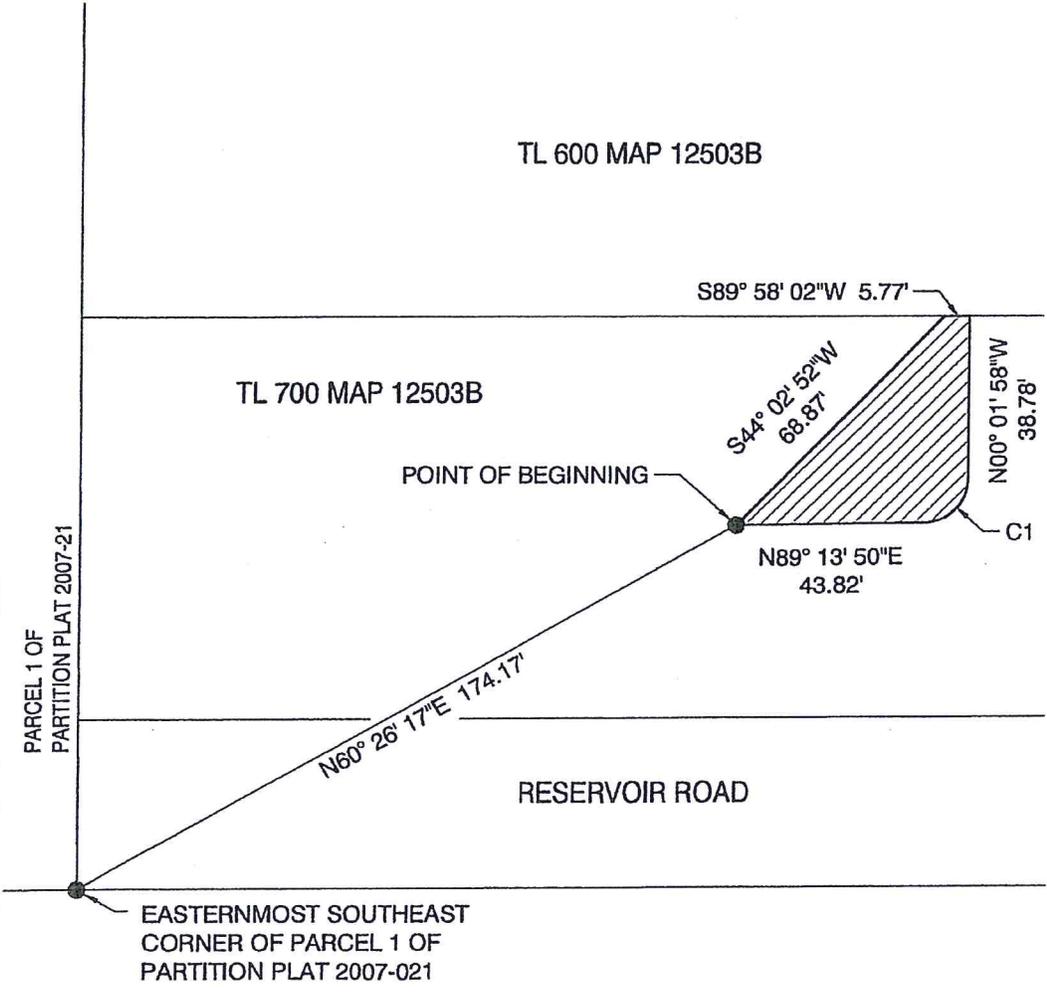
Beginning at a point which bears North 60°26'17" East 174.17 feet from the easternmost southeast corner of Parcel 1 of Partition Plat PP2007-021, a Partition Plat of record in Benton County, Oregon; thence North 89°13'50" East 43.82 feet to a point, thence along the arc of a 10.00 foot radius non-tangent curve to the left 15.71 feet (the long chord bears North 44°13'47" East 14.14 feet) to a point; thence North 00°01'58" West 38.78 feet to a point on the south line of that property conveyed to Oregon State University in Benton County Deed Records file 183412-94; thence North 89°58'02" West 5.77 feet to a point; thence South 44°02'52" West 68.87 feet to the POINT OF BEGINNING as shown on Exhibit U-2.

The basis of bearings for the above described easements are from Partition Plat PP2007-021, a Partition Plat of record in Benton County, Oregon.

EXHIBIT U-2
SKETCH OF A SIGN EASEMENT



SCALE: 1" = 40'



TL 800 MAP 12503B

CURVE TABLE				
CURVE #	LENGTH	RADIUS	CHORD LENGTH	BEARING
C1	15.71'	10.00'	14.14'	N44° 13' 47" E

THE BASIS OF BEARINGS FOR THIS SKETCH IS FROM PARTITION PLAT 2007-021, A PARTITION OF RECORD IN BENTON COUNTY, OREGON

FILE: I:\CIVIL3D Projects\12456\Production Drawings\12456EASEMENTS.dwg [U-2 SIGN] 4/2/2014 8:23 AM - Scott



RECEIVED
APR 10 2015
DEVELOPMENT SERVICES

SGN 15 - 00022

April 9, 2015

City of Corvallis
Re: Monument Sign Certification – Retreat at Oak Creek

To Whom It May Concern,

This letter is to certify the improvements associated with the above referenced project. I, Brian Sailor, a registered Professional Land Surveyor in the State of Oregon, do hereby certify that Monument Entrance Sign located at the entrance off of 35th Street for the above project has been staked per the sign detail shown on Sheet 02A and is located outside of the 100-foot creek protection overlay, as shown on said Sheet 02A. If you have any further questions or comments, please do not hesitate to contact our office.

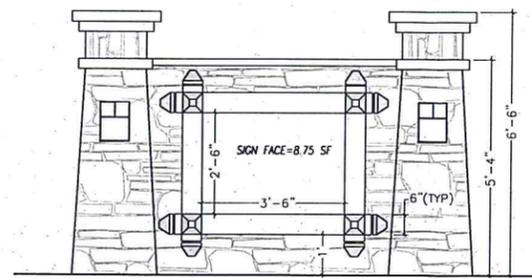
Sincerely,


Brian Sailor

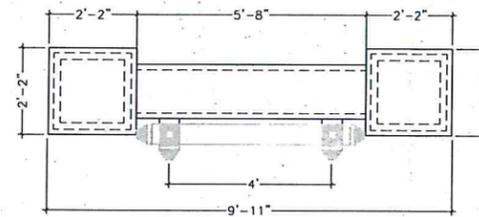
REGISTERED
PROFESSIONAL
LAND SURVEYOR



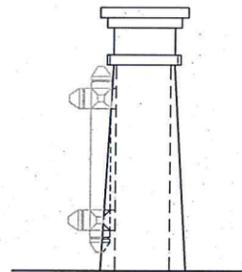
OREGON
JANUARY 11, 2005
BRIAN SCOTT SAILOR
61341



FRONT ELEVATION

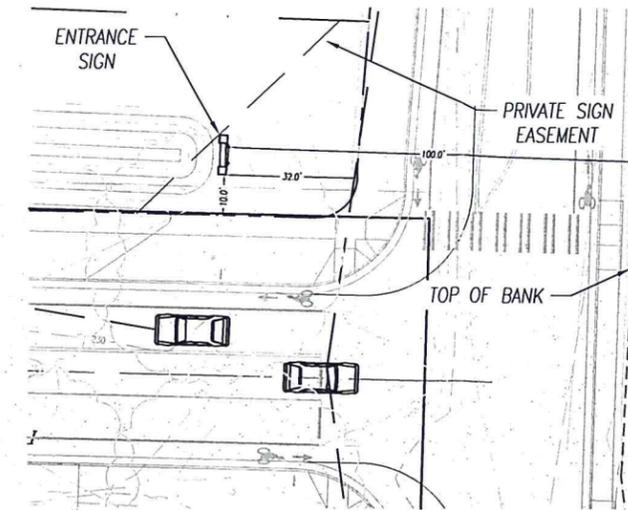


PLAN VIEW



SIDE VIEW

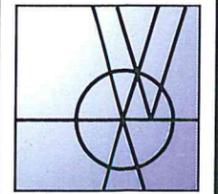
A
2 FREE STANDING SIGN - OPTION A
SCALE: 1" = 2'



EAST ENTRANCE

NOTE: THERE ARE NO FLOODPLAIN, FLOODWAY, OR RIPARIAN CORRIDOR AREAS LOCATED IN THE PROPOSED SIGN LOCATIONS.

B
2 ENTRANCE SIGN LOCATION
SCALE: 1" = 50'



Williams & Associates

ENGINEERING • SURVEYING
LANDSCAPE ARCHITECTURE

2470 Daniels Bridge Road, Suite 161
Athens, Georgia 30606
P. 706.310.0400
F. 706.310.0411

www.gaplanning.com

RETREAT AT
OAK CREEK
BENTON COUNTY, OREGON
WESTERN BLVD

DATE: 10/24/14

REVISIONS

DATE	COMMENT

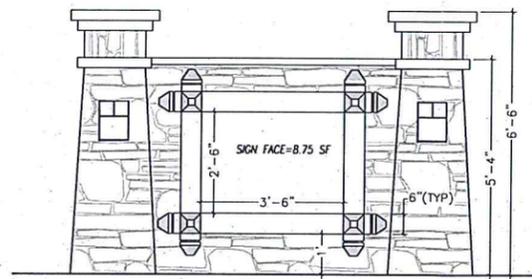
ALL DRAWINGS SHALL REMAIN THE PROPERTY OF WILLIAMS & ASSOCIATES. THESE INSTRUMENTS OF SERVICE ARE TO BE USED SOLELY FOR THIS SPECIFIC PROJECT. WILLIAMS & ASSOCIATES SHALL RETAIN ALL LEGAL RIGHTS TO THE USE OF THE INSTRUMENTS OF SERVICE AND SHALL RETAIN FULL PROTECTION UNDER UNITED STATES COPYRIGHT LAW.

11072

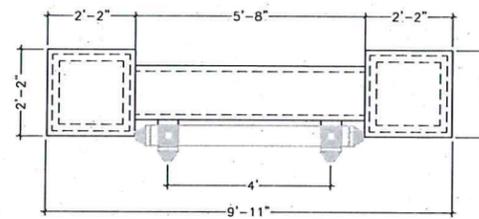
SIGN DETAIL

02A

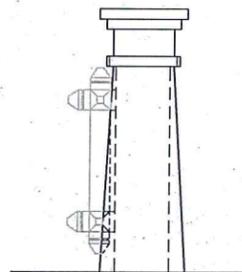
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FRONT ELEVATION

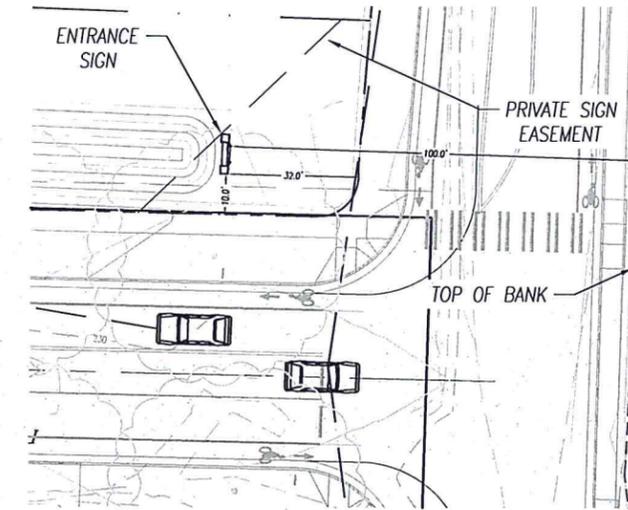


PLAN VIEW



SIDE VIEW

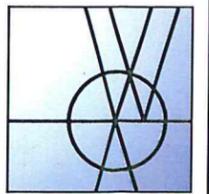
A
2
FREE STANDING SIGN - OPTION A
SCALE: 1" = 2'



EAST ENTRANCE

NOTE: THERE ARE NO FLOODPLAIN, FLOODWAY, OR RIPARIAN CORRIDOR AREAS LOCATED IN THE PROPOSED SIGN LOCATIONS.

B
2
ENTRANCE SIGN LOCATION
SCALE: 1" = 20'



Williams & Associates

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Athens, Georgia 30606
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F: 706.310.0411

www.gaplanning.com

RETREAT AT
OAK CREEK
BENTON COUNTY, OREGON
WESTERN BLVD

DATE: 10/24/14

REVISIONS

DATE	COMMENT
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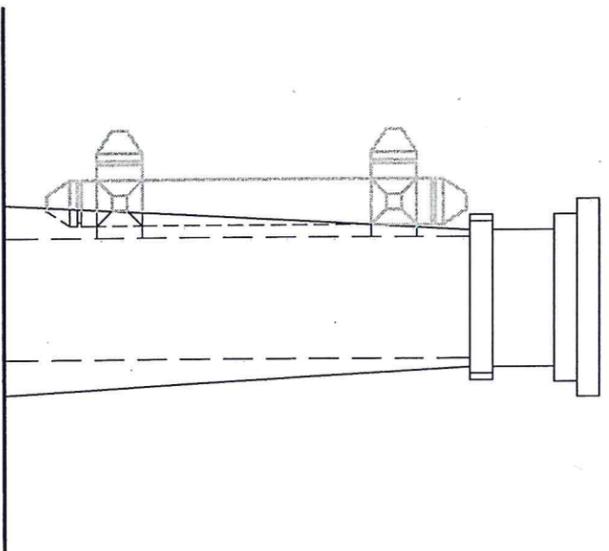
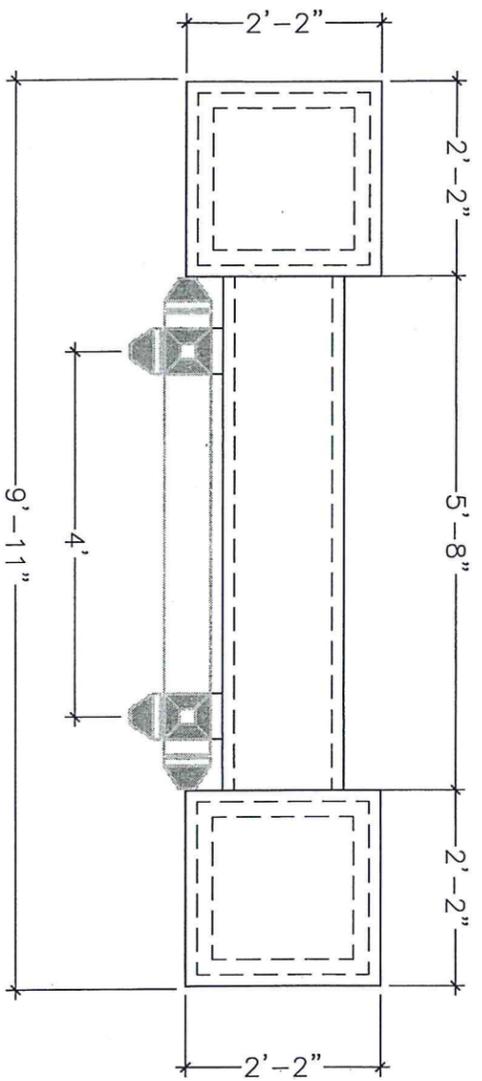
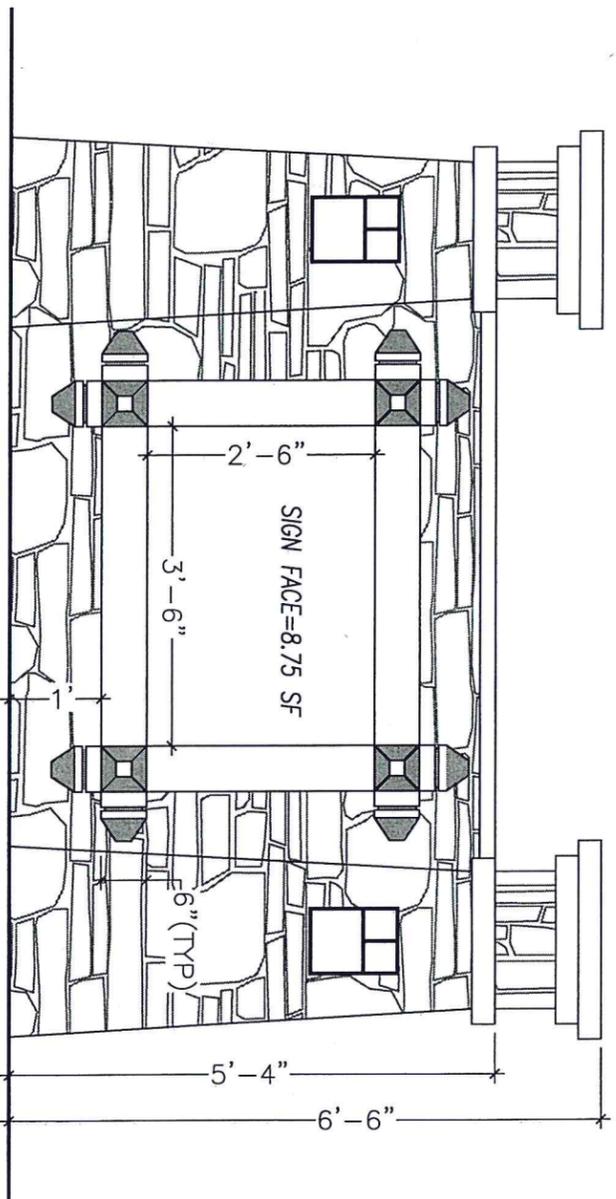
ALL DRAWINGS SHALL REMAIN THE PROPERTY OF WILLIAMS & ASSOCIATES. THESE INSTRUMENTS OF SERVICE ARE TO BE USED SOLELY FOR THIS SPECIFIC PROJECT. WILLIAMS & ASSOCIATES SHALL RETAIN ALL LEGAL RIGHTS TO THE USE OF THE INSTRUMENTS OF SERVICE AND SHALL RETAIN FULL PROTECTION UNDER UNITED STATES COPYRIGHT LAW.

11072

SIGN DETAIL

02A

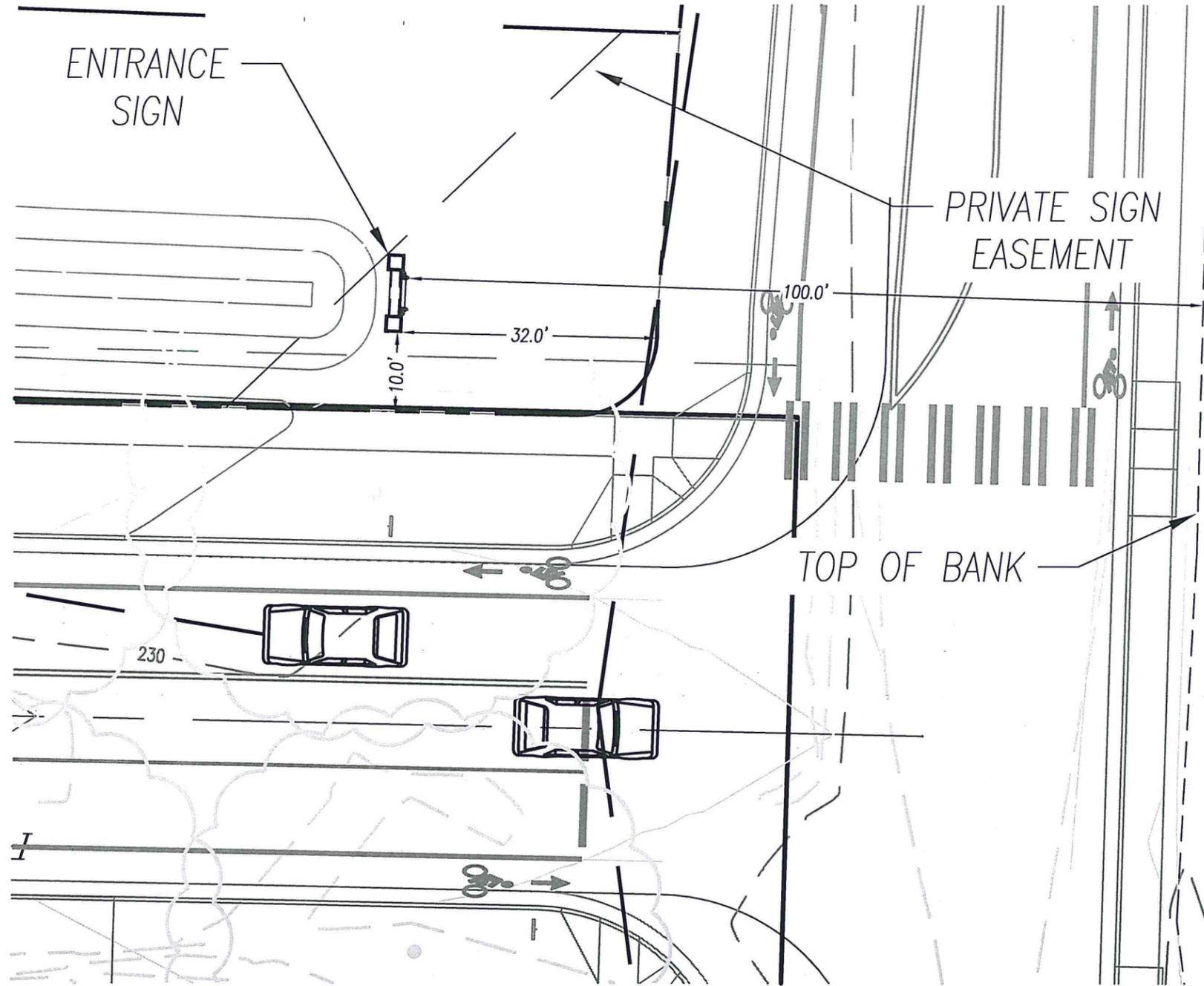
56115-00022



FREE STANDING SIGN - OPTION A
SCALE: 1"=2'

SK15-00022

SGN15-00022



EAST ENTRANCE

NOTE: THERE ARE NO FLOODPLAIN, FLOODWAY, OR RIPARIAN CORRIDOR AREAS LOCATED IN THE PROPOSED SIGN LOCATIONS.



ENTRANCE SIGN LOCATION

SCALE: 1"=20'