



**Community Development
Planning Division**
501 SW Madison Avenue
P.O. Box 1083
Corvallis, OR 97339-1083
(541) 766-6908
Planning@corvallisoregon.gov

**HISTORIC RESOURCES COMMISSION
NOTICE OF DISPOSITION**

ORDER NO. 2015-022

CASE: Yates House (HPP15-00006)

REQUEST:

The applicant requests Historic Preservation Permit (HPP) approval to make the following alterations:

- Reconstruct a rear exterior staircase
- Remove a walkway
- Remove a landscaped area
- Install a bike rack

APPLICANTS/OWNERS:

Kirstin Everard
PO Box 307
Corvallis, OR 97339

LOCATION:

The Yates House is located at 340 NW 7th Street, and is identified on Benton County Assessors' map 11-5-35 CA as Tax Lot 8600.

HISTORIC CLASSIFICATION:

The Yates House is a Designated Historic Resource listed on the Local Register.

The Corvallis Historic Resources Commission held a public hearing, deliberated, and approved the application, subject to Conditions of Approval, on May 12, 2015. The Commission adopted the findings in the May 5, 2015, staff report to the Historic Resources Commission, and findings in support of the Historic Resources Commission's decision which were made during the deliberations of the May 12, 2015, meeting. The Commission's findings from deliberations are reflected in the minutes from that meeting.

Order 2015-022
Historic Resources Commission Notice of Disposition
Yates House (HPP15-00006)
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If you are an affected party and wish to appeal this decision, appeals must be filed in writing with the City Recorder within 12 days from the date the order is signed. The following information must be included:

1. Name and address of the appellant(s).
2. Reference the subject development and case number, if any.
3. A statement of the specific grounds for appeal.
4. A statement as to how you are an affected party.

Appeals must be filed by 5:00 p.m. on the final day of the appeal period. The City Recorder is located in the City Manager's Office, City Hall, 501 SW Madison Avenue, Corvallis, Oregon.

The proposal, staff report, hearing minutes, and disposition may be reviewed at the Community Development Department, Planning Division, City Hall, 501 SW Madison Avenue.



Lori Stephens, Chair
Historic Resources Commission

Signed: May 13, 2015

Appeal Deadline: May 25, 2015 at 5:00 PM

Effective Period: May 25, 2019 (If not appealed)

Historic Preservation Permits shall be effective for a four-year period from the date of approval. In the event that the applicant has not begun the development or it's identified and approved phases prior to the expiration of the established effective period, the approval shall expire.

Conditions of Approval

1. **Consistency with Plans** – Development shall comply with the plans and narrative in the applicant's proposal (**Attachment A** of the May 5, 2015, staff report to the HRC) except as modified by the following conditions of approval, or future Historic Preservation Permits.

2. **Building Permits and other LDC Standards** – The applicant shall obtain required Building Permits associated with the proposal. Work associated with the proposal shall comply with the Building Code, as adopted and amended by the State of Oregon; and other applicable state and local Codes and ordinances related to building, development, fire, health, and safety, including other provisions of the Land Development Code.

Attachments

- A. Selected graphics of the approved alteration

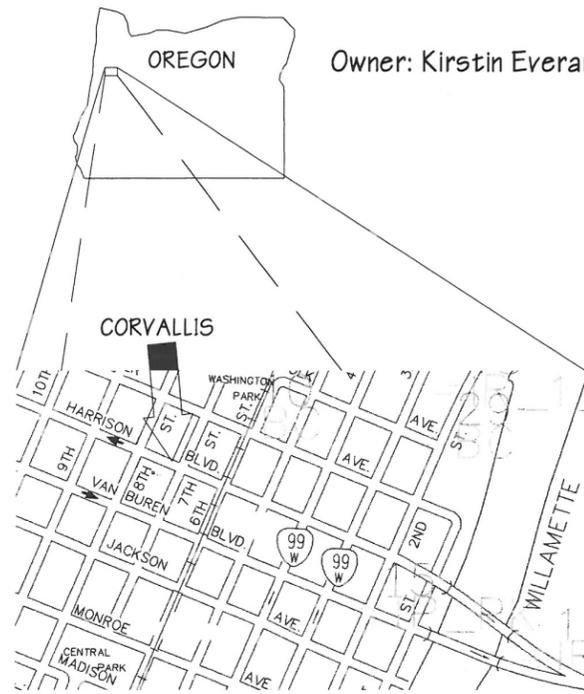
Yates House Office Conversion Parking Lot Construction

(BLDG Permit BLD14-00292)

Engineer of Record: Walter Trimmer, P.E.

Owner: Kirstin Everard

Proposed Changes
Nov. 7, 2014
1. Stair Change
(see new Sheet 4)
2. Sidewalk Replacement
3. Move Bike Rack



340 NW 7th St, Corvallis, OR 97330
Benton County Assessor's Map # 11535CA; Tax Lot 8600

General Notes:

1. Construction shall be in accordance with the latest edition of the City of Corvallis Off Street Parking & Access Standards and Land Development Code Ch. 4.0 & 4.1.
2. Location of existing utilities as shown on the plans are approximate only. Contractor is cautioned that he is responsible for all existing utilities. For utilities location call 811.
3. Contractor is responsible for temporary traffic control during construction.
4. Garage to be removed.
5. Power Poles to be relocated are shown in current positions.
6. Landscaping connected to existing irrigation system.

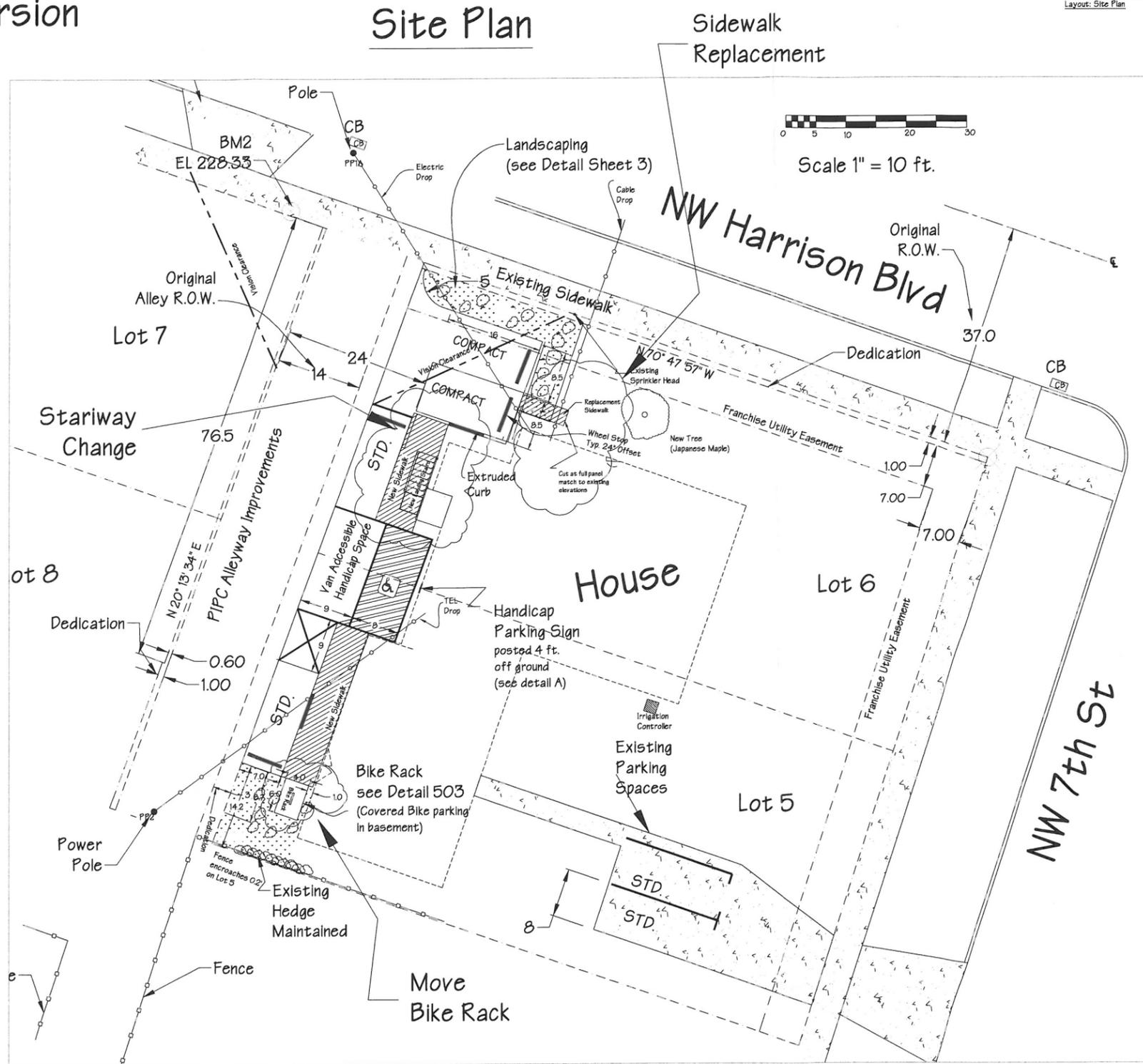
These projects are associated with the Public Improvement Project (PIP14-1576)



List of Sheets
Site Plan
Parking Lot Improvements
Specifications & Details
(new) Stair Detail

--- Vision Clearance

Site Plan



Scale 1" = 10 ft.

Drawing: TK_PIP.dwg
Layout: Site Plan

3924 NW Walnut Place
Corvallis, OR 97330
541-754-2919
trimmerw@gmail.com

Trimmer Engineering Inc.

Revised: June 13, 2014
October 29, 2014
November 11, 2014

April 28, 2014
Sheet 1 of 4

**Yates House Office Conversion
Parking Lot Construction
(BLD14-00292)**

340 NW 7th St, Corvallis, OR 97330

Stair Modifications

Nov. 6, 2014

General Notes

- Deck and stairs are designed to comply with City of Corvallis Typical Deck Details, revised February 14, 2008.
- All lumber shall be grade #2 Douglas fir or better and shall be pressure-treated in accordance with a WPAS rating:
 - Decking material, railings, joists, post and beams must be treated to category UC3B.
 - Any wood less than 6 inches above ground in contact with concrete must be category UC4A.
 - Any cut lumber should have the ends treated with a paint or preservative.
- All nails shall be common type, galvanized.
- All screws shall be hot dip galvanized or stainless steel.
- All hardware, joist hangers, etc. shall be galvanized (G-185 coating) or shall be stainless steel.
- Footing inspection is required before pouring concrete. For final inspection of deck contact city inspection services.
- All decking material shall be composed of 2 x 4 or 2 x 6 boards. Attach decking to each joist with 2 ea. 10d nails or 2 ea. #8 screws. Decking may be placed on angle perpendicular to the joist or to an angle of 45° with the joist. Decking must have a span length such that each board bears on a minimum of two joists.
- Post sizes are 4 x 4.
- The stairs shall be attached to the existing deck with ledger bolts as shown in detail A.
- Through bolts shall have a minimum diameter 1/2 inch. Lead (pilot) holes for the through bolts shall be 7/16 inch to 9/16 inch in diameter. Through bolts must be equipped with washers at both the head and tail ends.
- Lag screws shall be 1/2 inch diameter and should be hot dip galvanized or stainless steel. All lag screws shall be installed with washers and with lead pilot holes drilled as follows: drill a 1/8" diameter hole on the ledger board, then drill a 5/16 inch diameter hole into the solid connection material of the existing house. The threaded portion of the lag screw shall be inserted in the lead hole by turning (do not drive with a hammer) and thoroughly tightened. Use soap or wood compatible lubricant as required to help facilitate tightening each lag screw.
- Use diagonal cross bracing as shown to provide lateral support of decks. Each cross bar shall be bolted to the post as shown in Detail B by a minimum of two 1/2" diameter by 6 inch long lag bolts or two 1/2" through bolts at each end.
- Joist hangers shall have a minimum capacity of 1000 pounds. Joist hangers shall be manufactured for their intended lumber size and galvanized with 185 ounces per square foot of zinc (G-185 coating) or shall be stainless steel. Joist to beam connection shall be attached according to manufacturer's instructions.
- All footings shall bear on solid ground. Bearing connection shall be verified in the field during inspection, prior to the placement of concrete. Footings closer than 3 feet to the existing exterior house must bear at the same elevation as the existing wall footing. Do not construct footings over utility lines or enclosed meters.
- Pre-manufactured post-anchors shall be galvanized with (G-185 coating) or be stainless steel. Each post anchor shall be cable supporting a minimum of 3000 pounds.

Guardrail Requirements

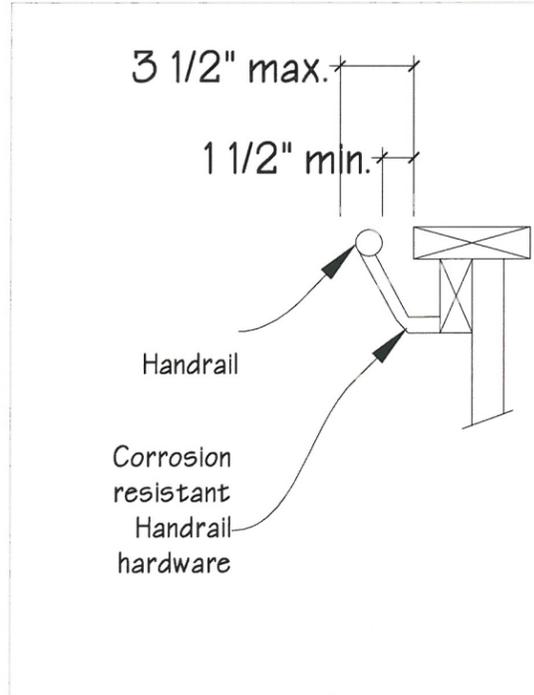
- Guard posts shall be 4 x 4 posts and attached as shown in detail B and installed at a min. of 4' O.C.
- The top rail shall be 2 X 6.
- Guardrail pickets shall be 2 X 2. Attach pickets at top and bottom with two each #8 screws or two each #d spiral shank nails each. Guardrail opening shall not allow the passage of a 4 inch diameter sphere.
- A 2 X 4 will be installed under the top rail to attach the pickets.

Stair Requirements

- Both stringers are 2 x 14.
- The tread width is 11 inches (2 ea. 2 X 6.) Attach the 2 x 6 tread material with 2 ea. #8 screws or 2 ea. #d nails per board each end.
- The riser height is 7 inches. The riser height shall not deviate from one to another by more than 3/8 inch.

Stair Handrail Requirements

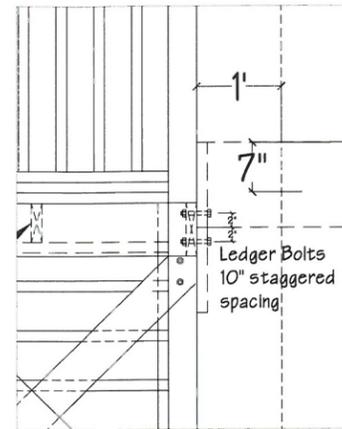
Handrail shall be graspable and shall be of decay resistant and/or corrosion resistant material. The handgrip portion, if circular, shall be between 1-1/4 and 2 inches cross-section. Shapes other than circular shall have a perimeter dimension between 4 inches and not greater than 6-1/4 inches with maximum cross-sectional dimension of 2-1/4 inches all shape shall have a smooth surface with no sharp corners. Handrail shall run continuously from a point directly over the lower riser to point directly over the highest riser.



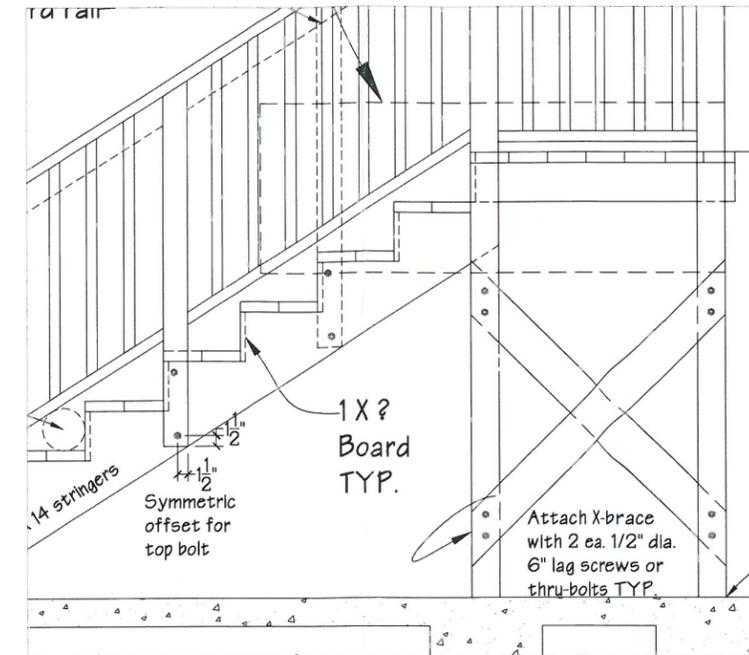
Handrail detail
Scale 3" = 1"

**Sidewalk/Slab
Concrete installed as
described under
Sidewalk Detail
(Sheet 3)**

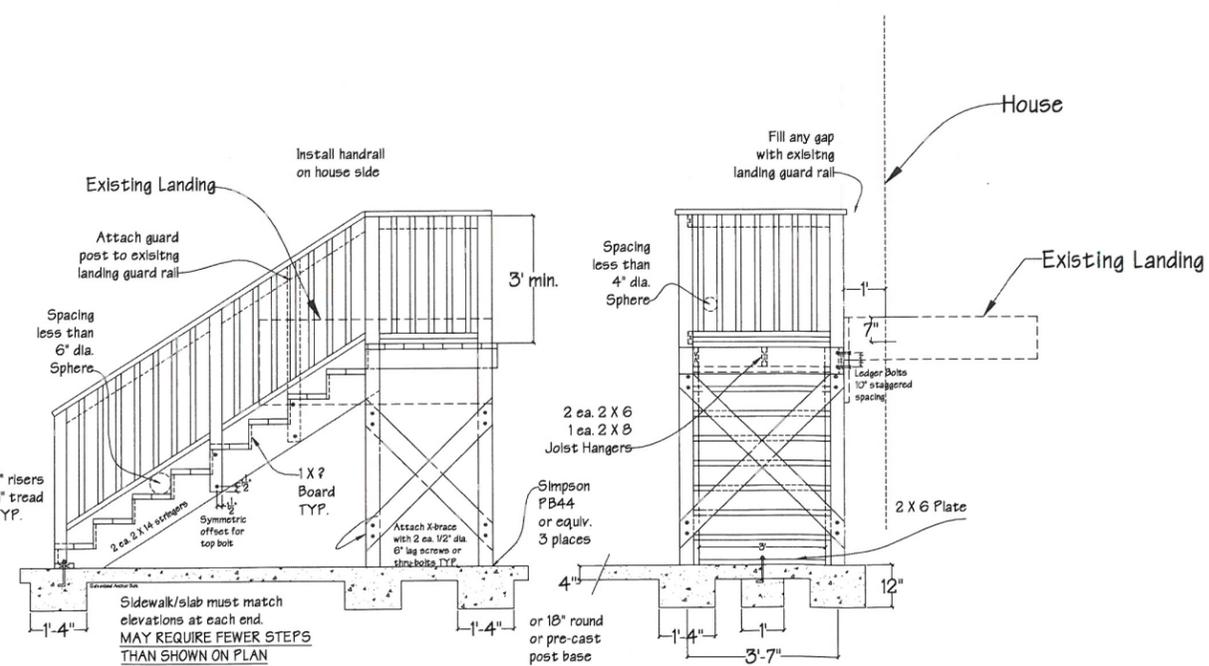
**Sidewalk/slab must match
elevations at each end.
MAY REQUIRE FEWER
STEPS THAN SHOWN ON
PLAN after field
excavation**



Detail A. Ledger attachment.
Scale 1" = 1"



Detail B. Guardpost and X-brace attachment.
Scale 1" = 1"



View from West

View from South

Scale 1/2" = 1"

Sheet 4

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