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Community Development
Planning Division

February, 2011
Community Development
Planning Division
501 SW Madison Avenue
PO Box 1083
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Phone: (541) 766-6908
Fax: (541) 754-1792
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City of Corvallis Historic Preservation Permit General Application Form

For Staff Use Only

Case Number

HPP15-00014

Date Filed

6/03/15

Please tell us about your property and your request. Attach additional information, if necessary.

1) **Historic Property Address/Location:** *(Or general vicinity, side of street, distance to intersection.)*

Address/Location

211 NW 29th St.

Assessor's Map Number(s)*

11534BD13200

Related Tax Lots

*The Assessor's Map Number (Township, Section/Range) and the Tax Lot Number (parcel) can be found on your tax statement or at the [Benton County Assessor's Office web site](#).

2) **Historic Name of the Property:** *(Available from Historic District nomination and/or inventory form. If you need assistance, contact City staff.)*

Historic Name

None

3) **Historic Property Information:**

(Check all that apply)

Individually Significant Historic Resource on:

- Local Register
 National Register

Property is Located within a Historic District:

- Historic Contributing
 Historic Noncontributing
 Nonhistoric Noncontributing

4) **Request:** *(Check all that apply)*

- Alteration or New Construction
 Demolition
 Remove a Historically Significant Tree
 Move a Historic Resource

5) Please provide a brief summary of the proposal:

February, 2011

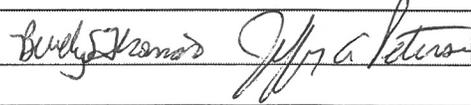
Proposal

We propose to raise the house, excavate for a basement and pour concrete footings and foundation walls. The basement will also have a poured concrete floor and two (2) egress windows. The egress windows will have window wells, protective iron railings and escape ladders.

6) Owner and Applicant Information: (Provide complete information for all that apply)

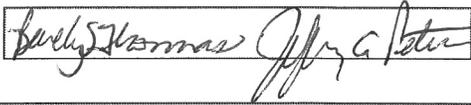
Property Owner(s) Name Phone

Address City/State/Zip

Owner(s) Signature  E-mail

Applicant's Name Phone

Address City/State/Zip

Applicant's Signature  E-mail

Other Project Staff Phone

Address E-mail

7) **Application Requirements:** Please refer to the application requirements in **LDC Section 2.9.90**. These are general requirements for all applications. Additional information may be required. Please see the list of application requirements at the following link: [Application Requirements](#)

8) **Authorization for Staff and HRC Members to Enter Land:** City staff and members of the Historic Resources Commission (HRC) are encouraged to visit the sites of proposed developments as part of their review of Historic Preservation Permit applications. Please indicate below whether you authorize City staff and HRC members to enter onto property associated with this application as part of their site visits.

- I authorize City staff and HRC members to enter onto property associated with this application.
- I do not authorize City staff and HRC members to enter onto the property associated with this application.

9) **Public Notice Signs:** If the application must be reviewed by the HRC, the applicant is responsible for posting public notice signs on the site at least 20 days prior to the HRC Public Hearing. City staff will prepare the signs and will let you know when the signs are ready to be picked up from City Hall.

Please provide the contact information for the person who will pick up and post the public notice signs:

Name Phone



City of Corvallis
Planning Division
501 SW Madison Avenue
PO Box 1083
Corvallis, Oregon 97333

Tel: (541) 766-6908
Fax: (541) 754-1792

Historic Preservation Permit Historic Resources Commission Application

Staff Use Only

Case Number

Date Filed

All activities affecting Designated Historic Resources that are not exempt or do not qualify for Director-level approval must be reviewed by the Historic Resources Commission (HRC). The following pages list review criteria taken from Land Development Code Chapter 2.9. These criteria will be used to evaluate your proposal. Please explain how your proposal complies with **EACH** criterion. Some criteria may not be relevant to your proposal. If this is the case, please briefly explain why the criterion is not relevant. Each criterion heading is listed below with page references to where the criterion is found in this form. Each criterion has also been bookmarked electronically within the form. **If you do not want to use this form to respond to the criteria, but would still like to submit your application electronically, please include your responses as an attachment to the e-mail when you submit this form.** If you need assistance responding to the review criteria, please contact the Planning Division at (541) 766-6908. The "Submit by Email" button is on the last page of this form.

Keep in mind that activities receiving HRC-level approval for a Historic Preservation Permit may also require building permits. Please contact the Development Services Division at (541) 766-6929 for information regarding building permit requirements.

HRC-level General Review Criteria

LDC Section 2.9.90.06 (page 4)

LDC Section 2.9.100.04.b.1 (page 4)

LDC Section 2.9.100.04.b.2 (page 5)

LDC Section 2.9.100.04.b.3

HRC-level Compatibility Review Criteria

- | | |
|---|---|
| a. Facades (page 6) | h. Building Orientation (page 10) |
| b. Building Materials (page 7) | i. Site Development (page 10) |
| c. Architectural Details (page 7) | j. Accessory Development/Structures (page 11) |
| d. Scale and Proportion (page 8) | k. Garages (page 11) |
| e. Height (page 8) | l. Chemical and Physical Treatments (page 12) |
| f. Roof Shape (page 9) | m. Archeological Resources (page 12) |
| g. Pattern of Window and Door Openings (page 9) | n. Differentiation (page 13) |

Review Criteria

1. General Review Criteria - All Historic Preservation Permits shall comply with the Building Code, as adopted and amended by the State of Oregon; and other applicable state and local Codes and ordinances related to building, development, fire, health, and safety, including other provisions of this Code. When authorized by the Building Official, some flexibility from conformance with the Building Code requirements may be granted for repairs, alterations, and additions necessary for the preservation, restoration, rehabilitation, or continued use of a building or structure. In considering whether or not to authorize this flexibility from some Building Code standards, the Building Official will check to ensure that: the building or structure is a Designated Historic Resource; any unsafe conditions as described in the Building Code are corrected; the rehabilitated building or structure will be no more hazardous, based on the life safety, fire safety, and sanitation, than the existing building; and the advice of the State of Oregon Historic Preservation Officer has been received.

Applicant's Response

There are no code violations that present unsafe conditions with the exception of the absence of a handrail on the front stairs. That condition will be corrected if this application is approved and the basement project is permitted and built to completion.

2. General - The Alteration or New Construction Historic Preservation Permit request shall be evaluated against the review criteria listed below. These criteria are intended to ensure that the design or style of the Alteration or New Construction is compatible with that of the existing Designated Historic Resource, if in existence, and proposed in part to remain, and with any existing surrounding comparable Designated Historic Resources, if applicable. Consideration shall be given to:

- | | |
|--|--|
| a) Historic Significance | f) Whether or not the Designated Historic Resource is a prime example or one of the few remaining examples of a once common architectural design or style, or type of construction |
| b) Historic Integrity | |
| c) Age | g) Whether or not the Designated Historic Resource is of a rare or unusual architectural design or style, or type of construction |
| d) Architectural design or style | |
| e) Condition of the subject Designated Historic Resource | |

Applicant's Response

2. a) The house is of historical significance in style, age and location only. It has played no role in Corvallis' history other than its existence as a small rental house near campus from the year it was built, 1916. Another house in the same layout was built next door in 1924.

b) The house remains as it always had in appearance, except for an addition which could have been built anytime from the 1920's on. The double hung windows have had aluminum storm windows installed at some point prior to the 1990's.

c) The age of the home is 99 years, built in 1916.

d) The architectural design-- I would describe it as a cottage built in the era of Craftsman style, but not in Craftsman style

e) The condition of the house is good. It has been relatively well-maintained. The issue is with the foundation. There is not sufficient crawl space underneath, there are voids, cracks, openings and one corner is crumbling and the add-on lacks a footing. Additionally there is a back porch that was enclosed in the 1930's that has no foundation under it at all.

f) There is nothing special about this house as a Designated Historical Resource in its design, style or type of construction. There are many similar houses all over Corvallis.

g) Refer to f) This house is not rare, or unusual in any way.

3. In general, the proposed Alteration or New Construction shall either

- a) Cause the Designated Historic Resource to more closely approximate the original historic design or style, appearance, or material composition of the resource relative to the applicable Period of Significance; or
- b) Be compatible with the historic characteristics of the Designated Historic Resource and/or District, as applicable, based on a consideration of the historic design or style, appearance, or material composition of the resource.

3. In general, the proposed Alteration shall be compatible with the historic characteristics of the Designated Historic Resource and/or district as applicable, based on a consideration of the historic design or style, appearance or material composition.

The proposed basement will be similar to other basements under houses in the neighborhood, with the exception that two windows on the north side of the structure will require egress window wells, which were not historically ordinary in the era of this dwelling. The foundation of the house will be poured concrete, the same material of the existing foundation. The window wells themselves will be poured concrete, and can be landscaped to mitigate visual impact. There will be wrought iron railings around the wells as a safety measure.

Applicant's Response

The height of the foundation will be About twelve (12) inches higher than the original foundation, but will not be out of proportion or significantly different from houses in the neighborhood that already have basements.

The front steps of the house will be replaced with new concrete steps with a wrought iron handrail similar to what is found on houses across the street.

SEE COMPATIBILITY CRITERIA ON THE FOLLOWING PAGE

4. **Compatibility Criteria for Structures and Site Elements** - Compatibility considerations shall include the items listed in "a-n," below, as applicable, and relative to the applicable Period of Significance. Alteration or New Construction shall complement the architectural design or style of the primary resource, if in existence and proposed in part to remain; and any existing surrounding comparable Designated Historic Resources. Notwithstanding these provisions in "a-n," below, for Nonhistoric/Noncontributing resources in a National Register of Historic Places Historic District or resources within such Historic District that are not classified because the nomination for the Historic District was silent on the issue, Alteration or New Construction activities shall be evaluated for compatibility with the architectural design or style of any existing Historic/Contributing resource on the site or, where none exists, against the attributes of the applicable Historic District's Period of Significance.

a) Facades - Architectural features, such as balconies, porches, bay windows, dormers, or trim details shall be retained, restored, or designed to complement the primary structure and any existing surrounding comparable Designated Historic Resources. Particular attention should be paid to those facades that are significantly visible from public areas, excluding alleys. Architectural elements inconsistent with the Designated Historic Resource's existing building design or style shall be avoided.

Applicant's Response

4. a) The facade of the house will not change in any significant way. The porch will remain the same but will have a new railing. All of the original window and doors will remain as they are. The foundation will look much the same; the egress window wells should have minimal impact on the appearance from the street or sidewalk. The basement windows will be a similar style to the existing windows on the house and those of neighboring houses.

b) Building Materials - Building materials shall be reflective of, and complementary to, those found on the existing primary Designated Historic Resource, if in existence and proposed in part to remain, and any existing surrounding comparable Designated Historic Resources. Siding materials of vertical board, plywood, cement stucco, aluminum, exposed concrete block, and vinyl shall be avoided, unless documented as being consistent with the original design or style, or structure of the Designated Historic Resource.

4. b) Building materials will be in keeping with what currently exists. The foundation will be poured concrete.

Applicant's Response

c) Architectural Details - Retention and repair of existing character-defining elements of a structure, such as molding or trim, brackets, columns, cladding, ornamentation, and other finishing details and their design or style, materials, and dimensions, shall be considered by the property owner prior to replacement. Replacements for existing architectural elements or proposed new architectural elements shall be consistent with the resource's design or style. If any previously existing architectural elements are restored, such features shall be consistent with the documented building design or style. Conjectural architectural details shall not be applied.

4.c) The new windows are the only architectural details that would be affected and they will be trimmed out with wood in the same style as the original windows. The front steps need hand railings for safety. They will be metal, wrought iron, similar to others on neighboring houses. The window well railings are not historically ordinary but are required by current building codes.

Applicant's Response

d) Scale and Proportion - The scale and proportions of the Alteration or New Construction shall be compatible with existing structures on the site, if in existence and proposed in part to remain, and with any surrounding comparable structures. New additions or New Construction shall generally be smaller than the impacted Designated Historic Resource, if in existence and proposed in part to remain. In rare instances where an addition or New Construction is proposed to be larger than the original Designated Historic Resource, it shall be designed such that no single element is visually larger than the original Designated Historic Resource, if in existence and proposed in part to remain, or any existing surrounding comparable Designated Historic Resources.

d) The scale of the addition is in keeping with the house. The increase of twelve (12) inches in the height of the foundation is the only proposed change in scale. It should not be noticeably different.

Applicant's Response

e) Height - To the extent possible, the height of the Alteration or New Construction shall not exceed that of the existing primary Designated Historic Resource, if in existence and proposed in part to remain, and any existing surrounding comparable Designated Historic Resources. However, second story additions are allowed, provided they are consistent with the height standards of the underlying zoning designation and other chapters of this Code, and provided they are consistent with the other review criteria contained herein.

e) The height of the house will increase by twelve (12) inches)

Applicant's Response

f) Roof Shape - New roofs shall match the pitch and shape of the original Designated Historic Resource, if in existence and proposed in part to remain, or any existing surrounding compatible Designated Historic Resources.

f) There will be no change to the roof shape

Applicant's Response

g) Pattern of Window and Door Openings - To the extent possible window and door openings shall be compatible with the original features of the existing Designated Historic Resource, if in existence and proposed in part to remain, in form (size, proportion, detailing), materials, type, pattern, and placement of openings.

g) The two egress window wells will house windows that first meet code, and second that most closely resemble windows currently installed. The non-egress basement windows will be in keeping with what one would find in a house of that era, or what houses in the neighborhood currently have (see window and door chart).

Applicant's Response

*For applications affecting windows or doors, please fill out a Window and Door Chart.

h) Building Orientation - Building orientation shall be compatible with existing development patterns on the Designated Historic Resource site, if in existence and proposed in part to remain, and any surrounding comparable Designated Historic Resources. In general, Alteration or New Construction shall be sited to minimize impacts to facade(s) of the Designated Historic Resource that are significantly visible from public areas, excluding alleys.

h) There will be no change to the building orientation.

Applicant's Response

i) Site Development - To the extent practicable, given other applicable development standards, such as standards in this Code for building coverage, setbacks, landscaping, sidewalk and street tree locations, the Alteration or New Construction shall maintain existing site development patterns, if in existence and proposed in part to remain.

i) The site development will remain unchanged.

Applicant's Response

j) Accessory Development/Structures - Accessory development as defined in Chapter 4.3 - Accessory Development Regulations and items such as exterior lighting, walls, fences, awnings, and landscaping that are associated with an Alteration or New Construction Historic Preservation Permit application, shall be visually compatible with the architectural design or style of the existing Designated Historic Resource, if in existence and proposed in part to remain, and any comparable Designated Historic Resources within the District, as applicable.

j) The existing landscape contains many perennials that will be removed and stored off-site until the proposed basement is completed and the soil is replaced. The site will be replanted with special consideration to planting on the north side where the new window well railings will be concealed behind vegetation as much as possible.

Applicant's Response

k) Garages - Garages, including doors, shall be compatible with the Designated Historic Resource site's primary structure, if in existence and proposed in part to remain, based on factors that include design or style, roof pitch and shape, architectural details, location and orientation, and building materials. In a National Register of Historic Places Historic District, the design or style of Alteration or New Construction involving an existing or new garage, visible from public rights-of-way or private street rights-of-way, shall also be compatible with the design or style of other garages in the applicable Historic District that were constructed during that Historic District's Period of Significance.

k) The garage will remain unchanged

Applicant's Response

l) Chemical or Physical Treatments - Chemical or physical treatments, if appropriate, shall be undertaken using the gentlest means possible. Treatments that cause damage to historic materials shall not be used.

l) No chemical or physical treatments will be used

Applicant's Response

m) Archeological Resources - Activities associated with archeological resources shall be carried out in accordance with all State requirements pertaining to the finding of cultural materials, including ORS 358.905, as amended, which pertains to the finding of cultural materials; ORS 390.235, as amended, which describes steps for State permits on sites where cultural materials are found; and OAR 736.051.0080 and OAR 736.051.0090, as amended, which describe requirements for cultural materials found on public versus private land, respectively

m) It is unlikely that any archaeological resources would be discovered, but the law would be followed in the case that there were.

Applicant's Response

n) Differentiation - New freestanding buildings and additions to buildings shall be differentiated from the portions of the site's existing Designated Historic Resource(s) inside the applicable Period of Significance. However, they also shall be compatible with said Designated Historic Resource's Historically Significant materials, design or style elements, features, size, scale, proportion, and massing to protect the Historic Integrity of the Designated Historic Resource and its environment. The differentiation may be subtle and may be accomplished between the Historically Significant portions and the new construction with variations in wall or roof alignment, offsets, roof pitch, or roof height. Alternatively, differentiation may be accomplished by a visual change in surface, such as molding strip or other element that acts as an interface between the Historically Significant and the new portions.

Applicant's Response

The new basement walls will be differentiated in appearance by the newness of the concrete foundation. It will have a fresh look but be compatible and typical of other foundations in the district.
There are alternative treatments such as carging that could be applied to give the appearance of an older foundation.

Application Requirements: Please refer to the application requirements in LDC Section 2.9.90. These are general requirements for all applications. Additional information may be required. Please see the list of application requirements at the following link: [Application Requirements](#)

Please e-mail this form and any additional application materials to City Staff by clicking on the "Submit by Email" button below. By clicking on the "Submit by Email" button, this form will automatically be attached to the e-mail. If you have additional application materials to submit, please attach them to the e-mail. E-mailing the application to City Staff is considered your formal application submission. If you wish to print the form and submit the application in another way you may click on the "Print Form" button. City Staff will process your application and contact you to schedule the public hearing with the Historic Resources Commission. If you have any questions, please do not hesitate to contact the Planning Division at (541) 766-6908.

Submit by E-mail

Print Form

RECEIVED

June 26, 2015

JUN 26 2015

Community Development Planning Division
Historic Resources Commission
501 SW Madison Ave
Corvallis, OR 97333

Community Development
Planning Division

RE: Berman Rental (HPP15-00014)

Amended Narrative

1. Building Materials - Use of wood/fiberglass windows instead of wood.
 - a. The egress windows in the window wells would ideally be fiberglass clad wood. The material choice is for utility. The window wells are on a north facing wall in a basement, which will be damp and fiberglass cladding was chosen for long-term resistance to moisture related problems such as mildew and peeling paint. The appearance of fiberglass cladding is very similar to wood and would be indistinguishable from wood from the sidewalk or street. For these reasons the owner believes that the use of wood/fiberglass windows are reflective and complimentary of the windows on the existing resource.
 - b. The awning windows in the other basement locations are also proposed to be wood/fiberglass for the same reasons as listed above and for uniformity.
 - c. It should be noted that the existing windows have aluminum storm windows which make it difficult to see the actual wood sashes.

Building Materials - Use of concrete instead of wood for replacement front entry stairs.

- d. The proposed use of poured concrete stairs instead of wood is also a matter of practical utility. The existing stairs are not original and are made of pressure treated wood. They are sloping and are slippery in rainy weather whereas concrete would not be. There are two existing concrete steps leading from the sidewalk to the yard level of the house and the use of concrete steps leading to the porch would be a consistent use of materials. Concrete stairs are reflective of other houses in the neighborhood and are complimentary to the resource as the material will be the same as the new foundation.
2. Pattern of Window and Door Openings
 - a. The proposed basement windows will be placed directly below the existing resource windows for a uniform appearance. The two egress windows will be double hung as are the existing windows. The windows proposed for the other basement locations are awning style windows which are

reflective of other basements in the neighborhood and are complimentary to the style and age of the existing resource.

3. Accessory Development/Structures

- a. The proposed handrail on the front stairs will closely resemble the handrail on the Gilbert House at 210 NW 29th St. (See photos) The metal stair railing posts will be 2" square steel with a 2" wide handrail and ½" square balusters spaced not more than 4" apart, in a black matte finish. The style of the rail itself will be simple, with clean lines like that of the Gilbert house's handrail, or simpler, without the curved top or decorative detail. The proposed guard rails around the window wells will be of the same design and material. Alternatively, the window wells may be protected by a grate if permitted under city code.

Supporting Materials

4. Window and Door Chart – Proposed window sash components and simulated divides.

- a. The rails and stiles of the new windows are reflective in width and of a complimentary style to the existing. The existing double hung windows have a top rail width of 2"; the top rail of the proposed windows is 1 5/8". (See attached manufacturer cut sheets) The check rail of the existing windows has a width of 2 ¼" whereas the proposed window width is 2 5/16". The bottom rail of the existing windows is 2 ¾"; the proposed bottom rail would be 1 5/8". The stiles on the existing window are 2"; the proposed window stiles are 1 5/8". The simulated divides on the awning windows are 7/8" wide, similar to other awning windows in the neighborhood.

5. Window and Door Chart – Window material

- a. The proposed window material is fiberglass exterior over wood interior.

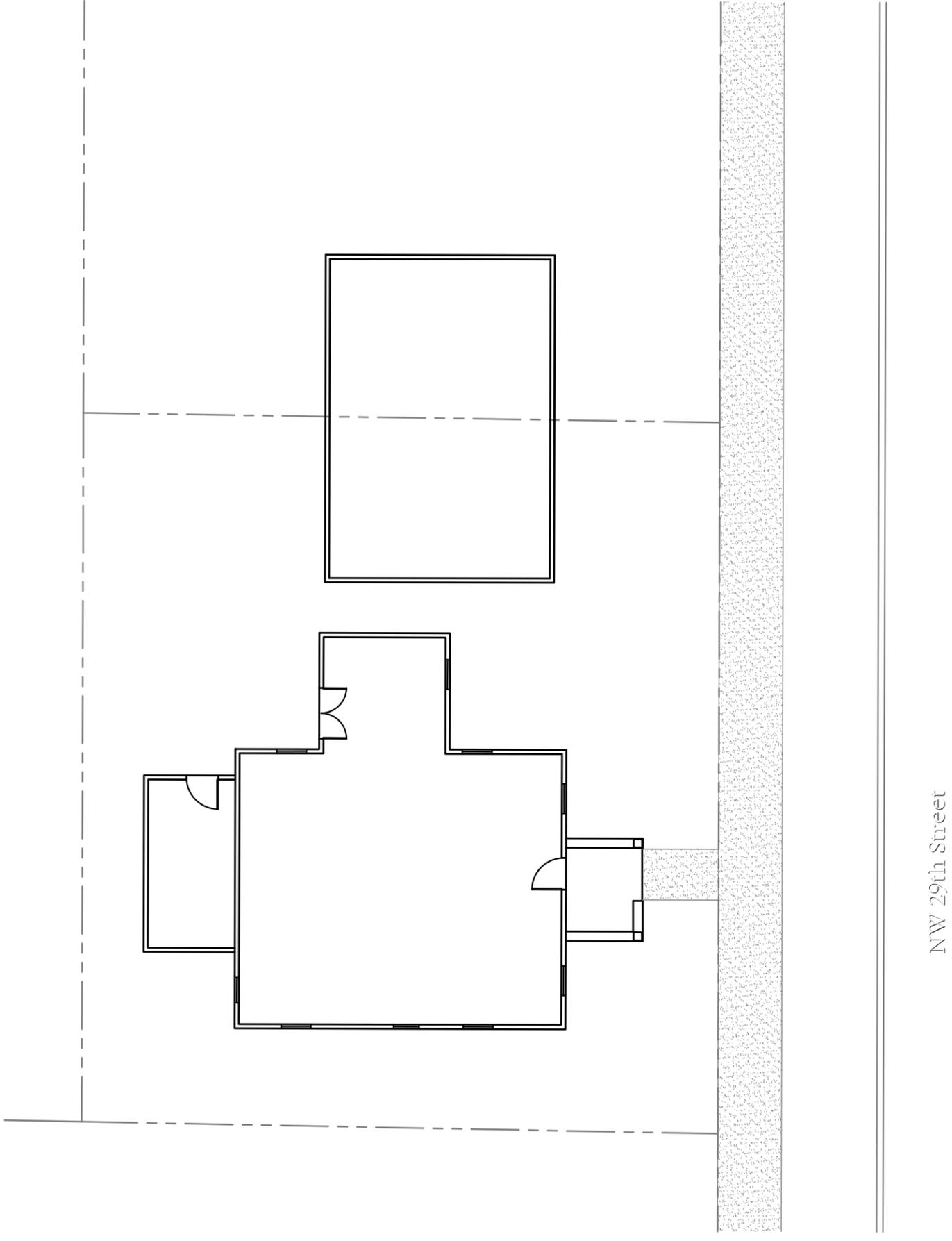
6. Proposed Windows– Manufacturers sales and cut sheets attached.

7. Existing Windows – Photos of existing window are attached

8. Proposed Elevations – Revised elevation drawings are attached showing poured concrete steps instead of wood treads.

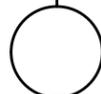
EXISTING SITE PLAN

211 NW 29th Street



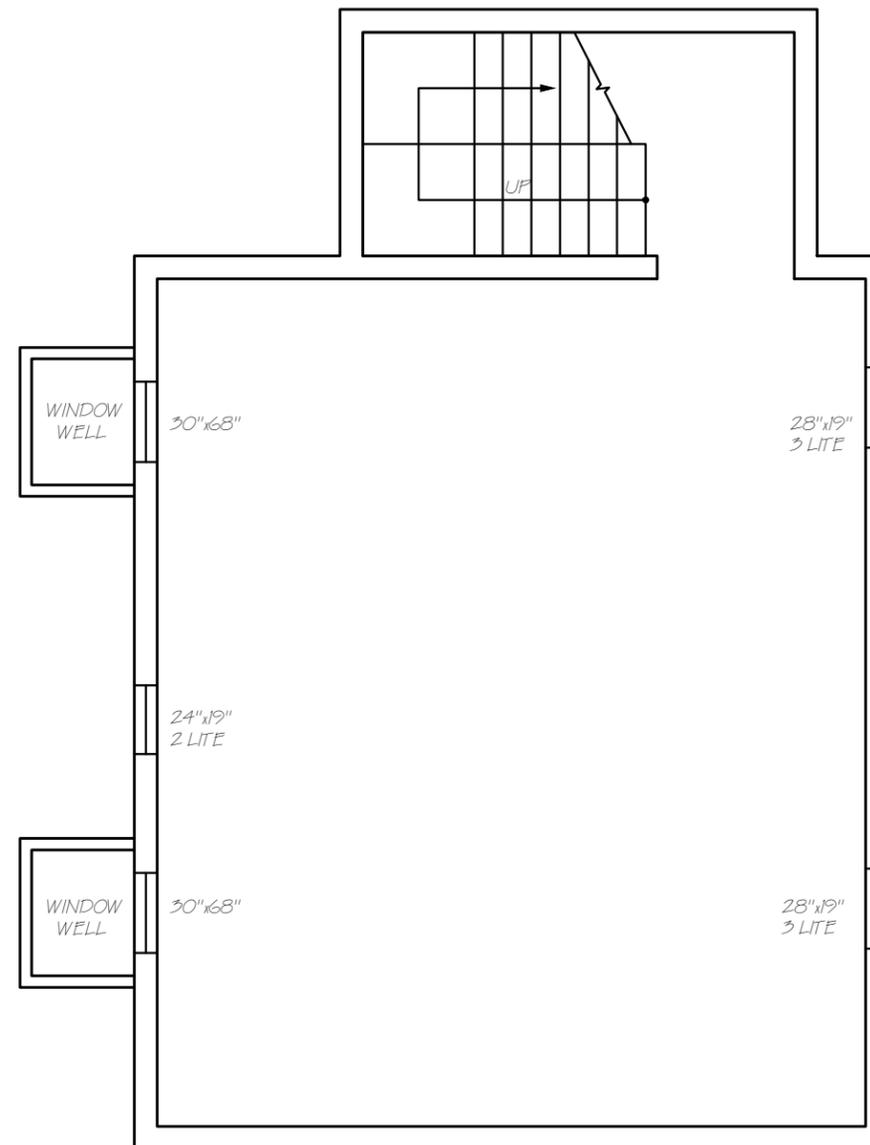
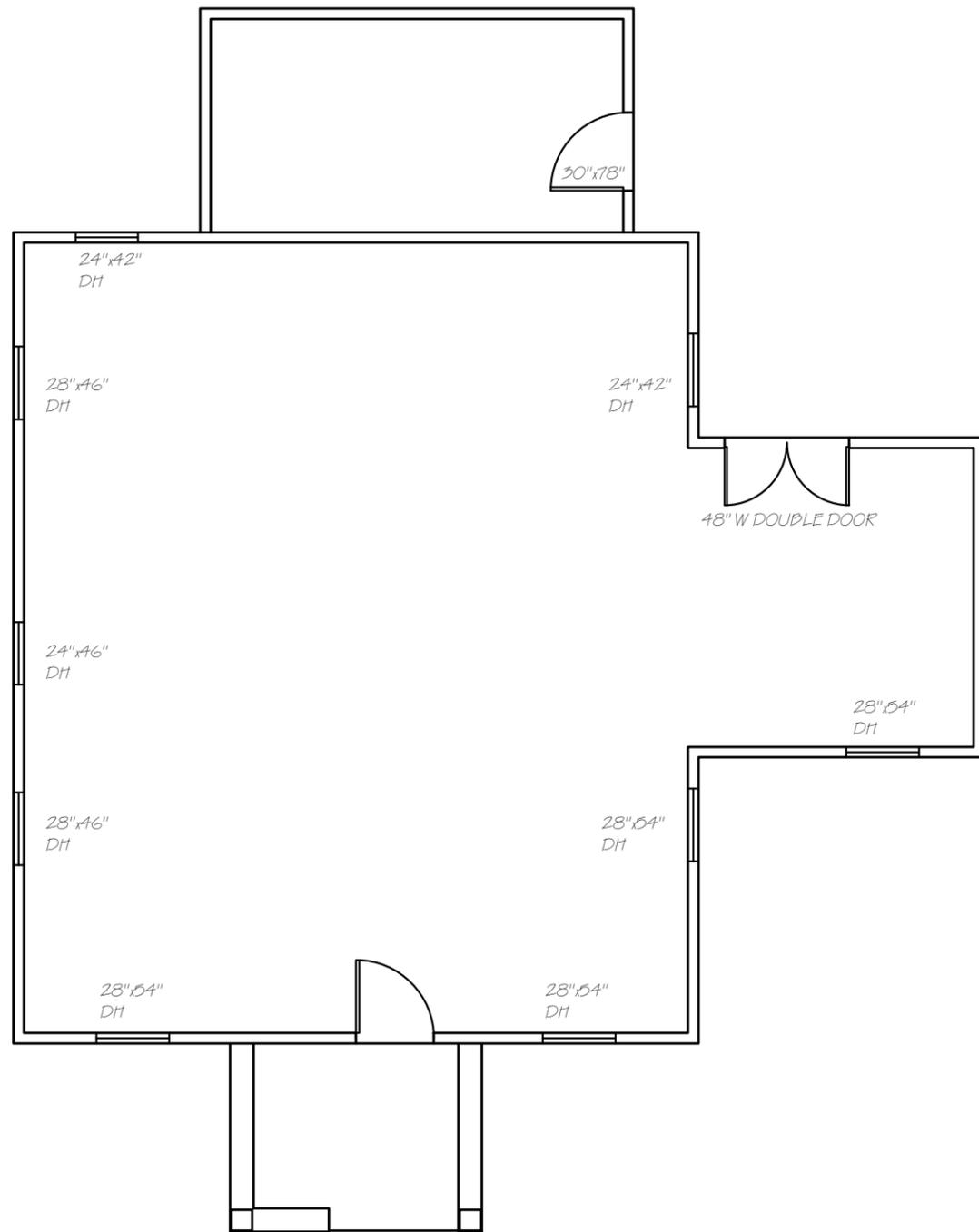
SITE PLAN

SCALE: 1" = 10'-0"



FLOOR PLANS

211 NW 29th Street

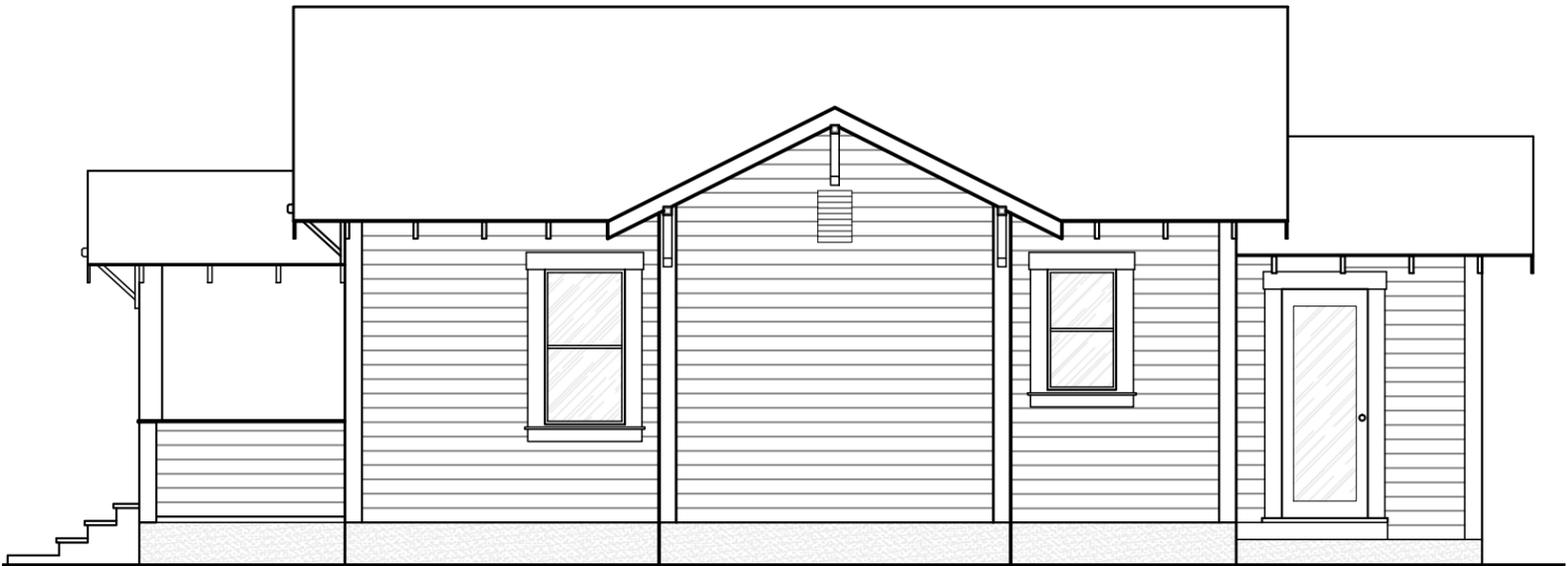
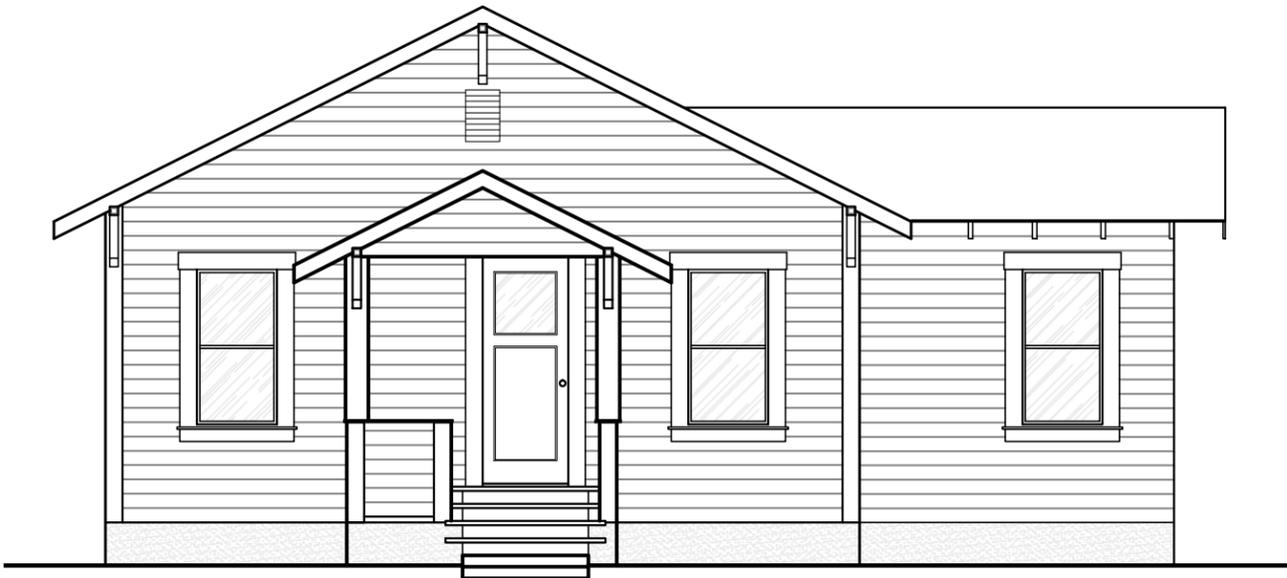


EXISTING FLOOR PLAN (SHELL ONLY)
SCALE: 3/16" = 1'-0"

PROPOSED BASEMENT PLAN (SHELL ONLY)
SCALE: 3/16" = 1'-0"

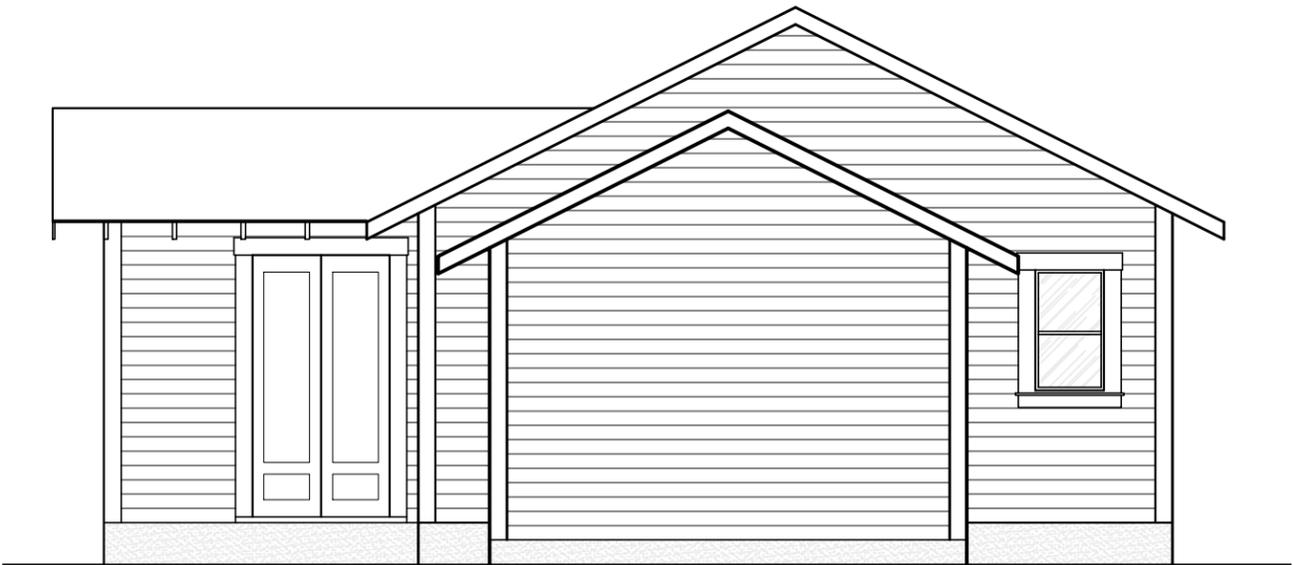
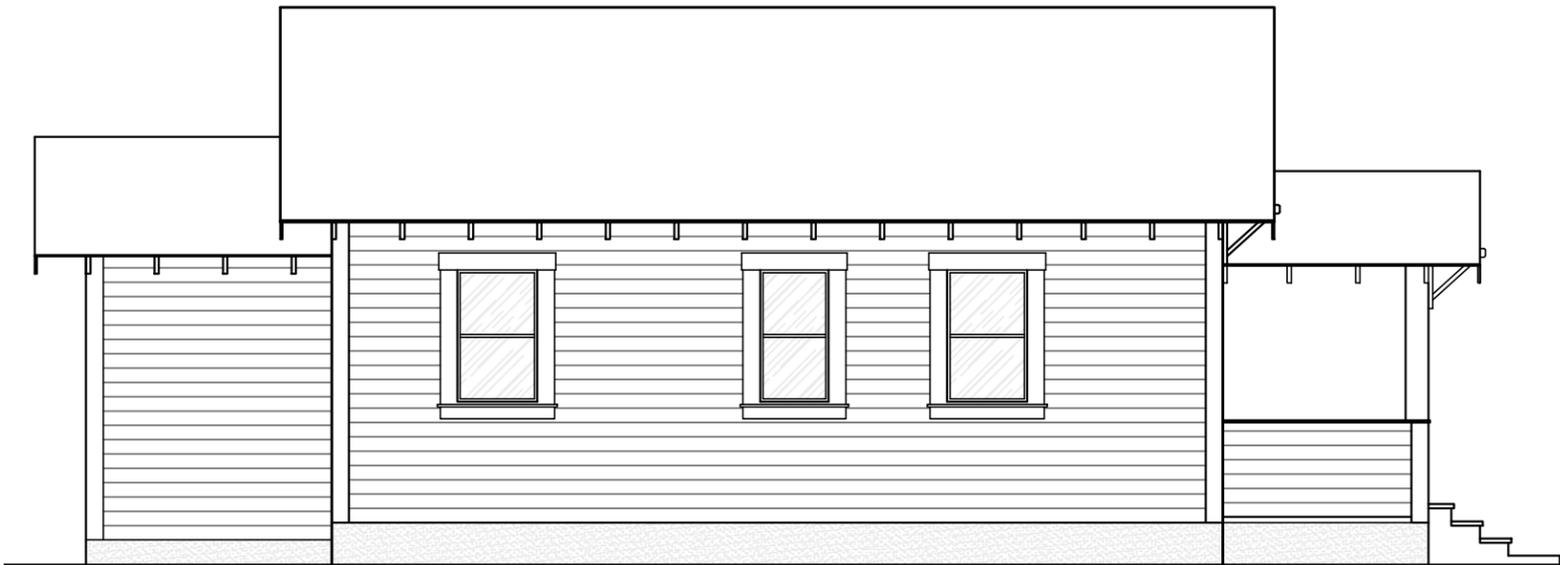
EXISTING ELEVATIONS

211 NW 29th Street



○ **FRONT ELEVATION (STREET VIEW)**
SCALE: 3/16" = 1'-0"

○ **RIGHT SIDE ELEVATION**
SCALE: 3/16" = 1'-0"

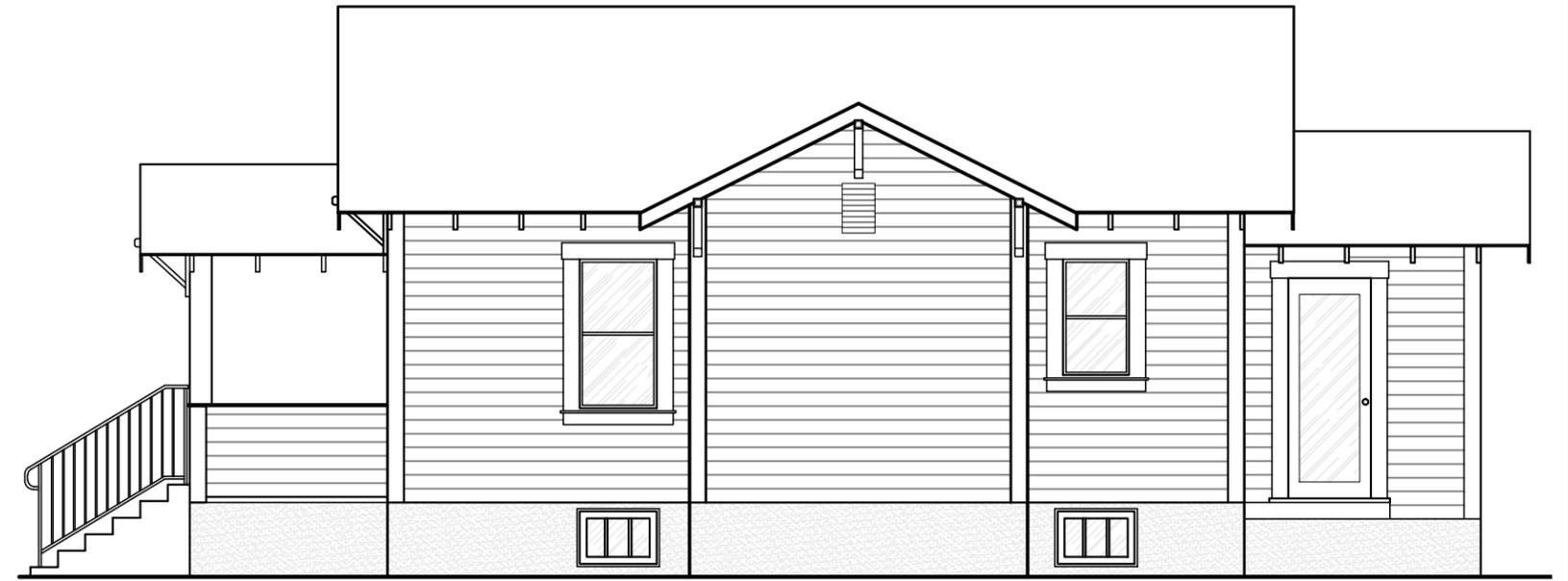


○ **LEFT SIDE ELEVATION**
SCALE: 3/16" = 1'-0"

○ **REAR ELEVATION**
SCALE: 3/16" = 1'-0"

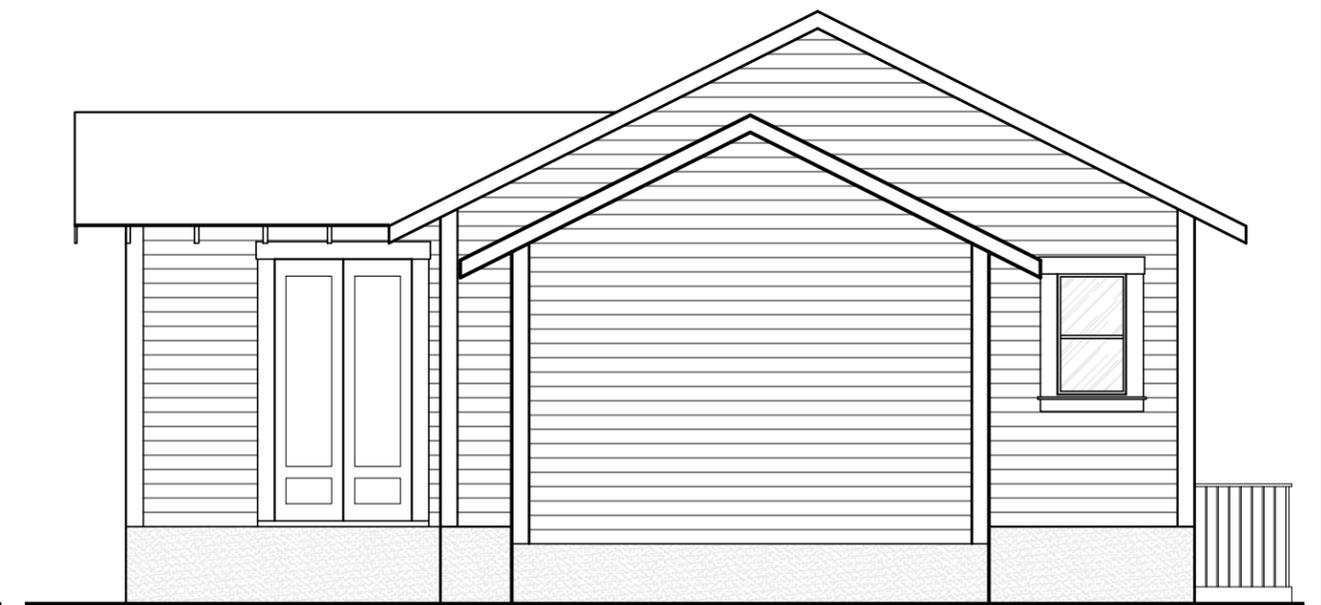
PROPOSED ELEVATIONS

211 NW 29th Street



FRONT ELEVATION (STREET VIEW)
SCALE: 3/16" = 1'-0"

RIGHT SIDE ELEVATION
SCALE: 3/16" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 3/16" = 1'-0"

REAR ELEVATION
SCALE: 3/16" = 1'-0"



Window and Door Chart

Please fill out the chart below if your Historic Preservation Permit application involves an alteration, removal, or installation of a window or door. The chart includes information that is necessary for review of your application. If the alteration or new construction activity involves multiple window or door types (style, size, materials, etc.), please fill out one form per window or door type. If submitting your application electronically, please attach this form to the email submission. You may also print this form and submit the application materials in person or by mail.

Window or Door Feature	Existing	Proposed
Location on Structure (e.g. West Elevation, Basement)		North Elevation, two places
Window or Door Size		30x68
Window Style		double hung
Door Style (French Doors, Sliding Glass, etc.)		
Door Material		
Window Sash Material		*Fiberglass
Sash and Muntin Dimensions		30x34
Trim Material		redwood
Trim Dimensions		1x6
Is the Window or Door Operable		Yes - Operable
Number and Type of Divided Lites (e.g. 3 over 1, True Divided Lites)		N/A
Is the Glass Single or Double Pane		Double Pane

*Fiberglass and Vinyl windows may be proposed; However, typically these two materials have not been considered compatible materials.

Additional Materials

1. Elevation drawings illustrating existing conditions and proposed alterations. Each window or door to be altered or installed on an elevation should be identified.
2. A site plan, drawn to scale, showing the footprint of buildings, lot lines, street and alleys, and approximate locations of buildings on abutting lots.
3. In cases where the proposed alterations are minimal, photographs with a detailed narrative description of the alteration may take the place of elevation drawings.



Window and Door Chart

Please fill out the chart below if your Historic Preservation Permit application involves an alteration, removal, or installation of a window or door. The chart includes information that is necessary for review of your application. If the alteration or new construction activity involves multiple window or door types (style, size, materials, etc.), please fill out one form per window or door type. If submitting your application electronically, please attach this form to the email submission. You may also print this form and submit the application materials in person or by mail.

Window or Door Feature	Existing	Proposed
Location on Structure (e.g. West Elevation, Basement)		North Elevation
Window or Door Size		24x19
Window Style		Awning
Door Style (French Doors, Sliding Glass, etc.)		
Door Material		
Window Sash Material		*Fiberglass
Sash and Muntin Dimensions		24x19
Trim Material		redwood
Trim Dimensions		1x3
Is the Window or Door Operable		Yes - Operable
Number and Type of Divided Lites (e.g. 3 over 1, True Divided Lites)		two, Simulated Divided Lite
Is the Glass Single or Double Pane		Double Pane

*Fiberglass and Vinyl windows may be proposed; However, typically these two materials have not been considered compatible materials.

Additional Materials

1. Elevation drawings illustrating existing conditions and proposed alterations. Each window or door to be altered or installed on an elevation should be identified.
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3. In cases where the proposed alterations are minimal, photographs with a detailed narrative description of the alteration may take the place of elevation drawings.



Window and Door Chart

Please fill out the chart below if your Historic Preservation Permit application involves an alteration, removal, or installation of a window or door. The chart includes information that is necessary for review of your application. If the alteration or new construction activity involves multiple window or door types (style, size, materials, etc.), please fill out one form per window or door type. If submitting your application electronically, please attach this form to the email submission. You may also print this form and submit the application materials in person or by mail.

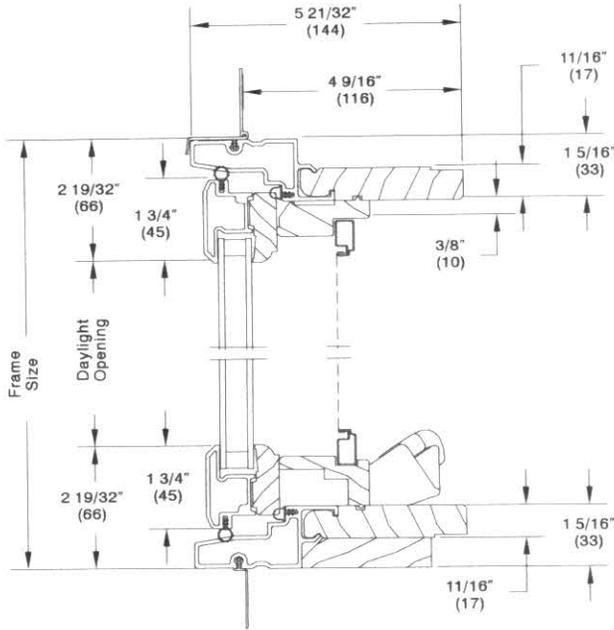
Window or Door Feature	Existing	Proposed
Location on Structure (e.g. West Elevation, Basement)		South Elevation, two places
Window or Door Size		28x19
Window Style		Awning
Door Style (French Doors, Sliding Glass, etc.)		
Door Material		
Window Sash Material		*Fiberglass
Sash and Muntin Dimensions		28x19
Trim Material		redwood
Trim Dimensions		1x3
Is the Window or Door Operable		Yes - Operable
Number and Type of Divided Lites (e.g. 3 over 1, True Divided Lites)		three, Simulated Divided Lite
Is the Glass Single or Double Pane		Double Pane

*Fiberglass and Vinyl windows may be proposed; However, typically these two materials have not been considered compatible materials.

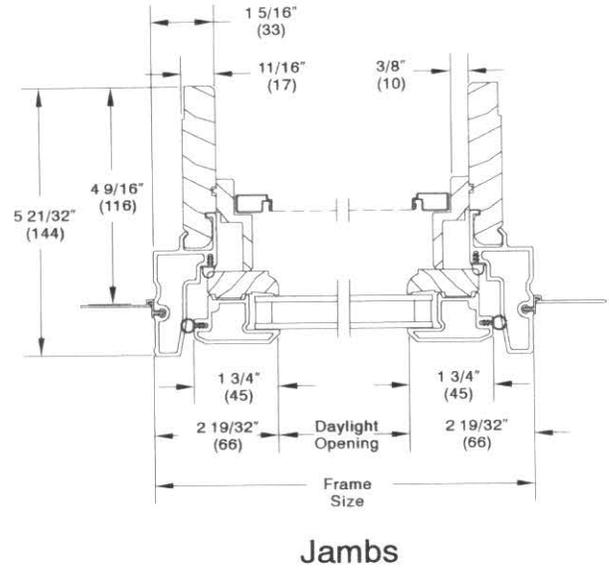
Additional Materials

1. Elevation drawings illustrating existing conditions and proposed alterations. Each window or door to be altered or installed on an elevation should be identified.
2. A site plan, drawn to scale, showing the footprint of buildings, lot lines, street and alleys, and approximate locations of buildings on abutting lots.
3. In cases where the proposed alterations are minimal, photographs with a detailed narrative description of the alteration may take the place of elevation drawings.

**CASEMENT/AWNING
OPERATING - 4 9/16" (116)**

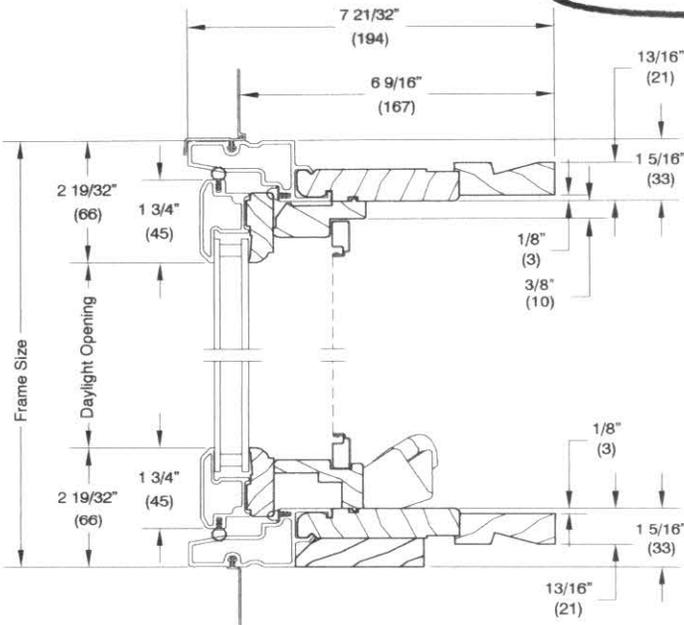


Head Jamb and Sill

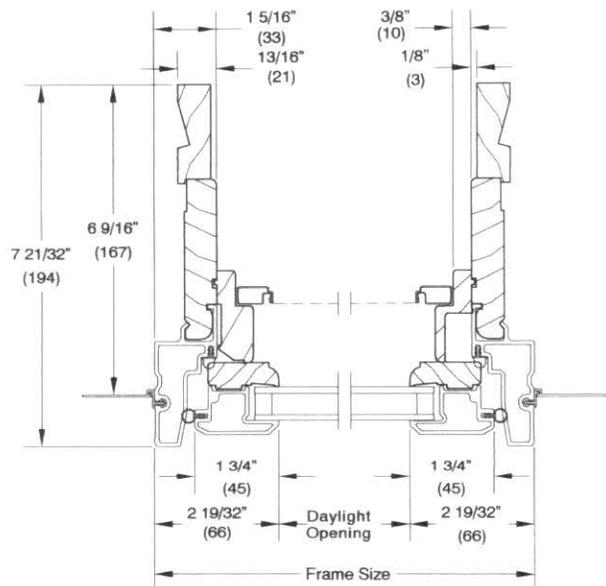


Jamb

OPERATING - 6 9/16" (167)



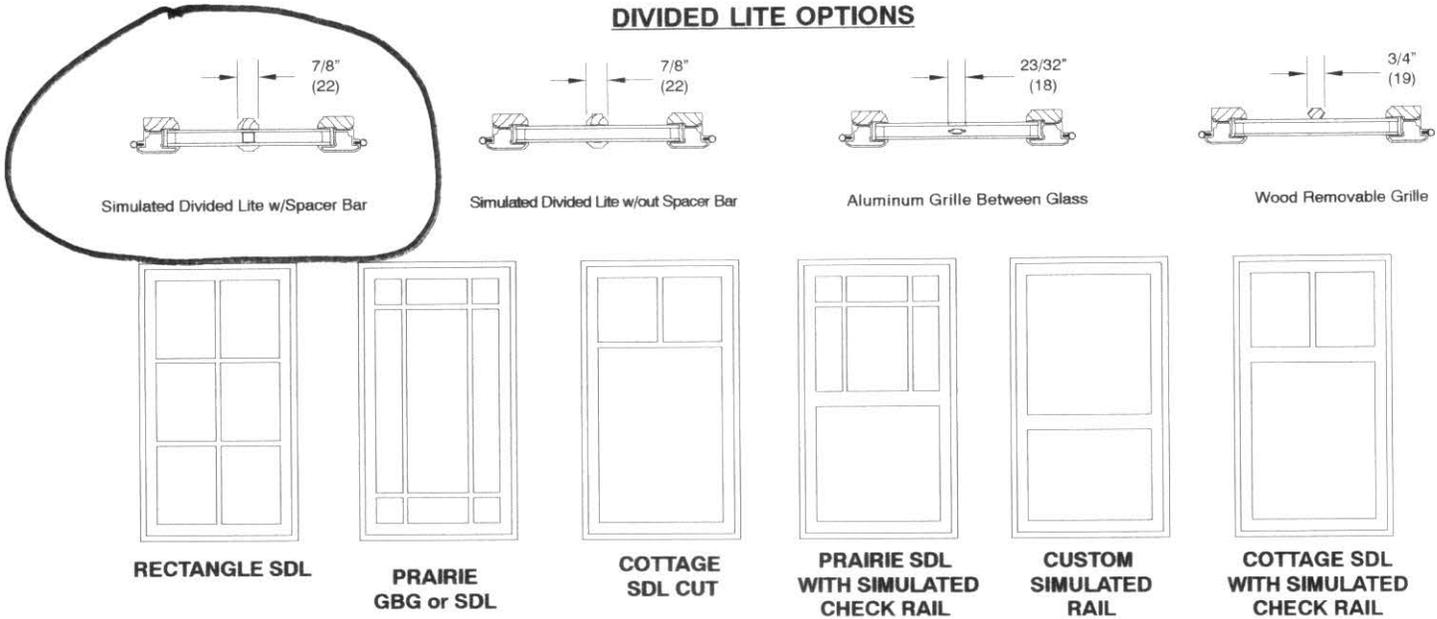
Head Jamb and Sill



Jamb

DIVIDED LITE OPTIONS Not to Scale

DIVIDED LITE OPTIONS



Conversion Formula:

$$\frac{\text{Total DLO} - \text{Total bar width}}{\text{Number of lites}} = \text{Individual DLO}$$

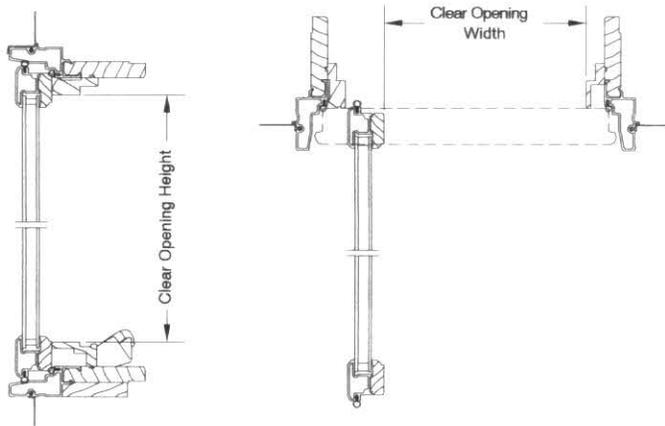
NOTES

- Direct Glaze Round Top with Wood Grilles, GBG, or SDL will only align with the default lite cut of the unit it is intended to be mullied with.
- Wood Grilles for special sizes will default to the next smaller standard size lite pattern. Wood Grilles are not available in lite patterns other than the Wood Grille patterns listed in the following pages.
- Rectangle GBGs for special size units will default to the next smaller standard size lite pattern. Also available will be Prairie pattern and customer specified equal rectangular lite patterns.
- Rectangular SDL for special size units will default to the next smaller standard size lite pattern. Also available will be Prairie patterns, Cottage patterns, and customer specified equal rectangular lite patterns.
- Prairie GBGs and SDL are not available in lite patterns other than the Prairie patterns listed in the following pages.
- Cottage SDL for special sizes will default to the next smaller standard size lite pattern. Cottage SDL is not available in lite patterns other than the Cottage patterns listed in the following pages.
- Round Top lite patterns will not align with Casement/Awning optional GBG or SDL lite patterns.
- Maximum number of lites wide and high for equal lite SDL is 11 lites.
- Minimum DLO measurement for equal lite GBG and SDL option is 3" and will be validated by OMS.
- Standard DLO measurement for Prairie GBG and SDL option is 4" Special DLO corners are n/a.
- Standard DLO height measurement for Cottage SDL option is 10". Special DLO heights are n/a.
- Simulated Rail: Rectangular, Prairie 6-Lite and 9-Lite SDL patterns are available with Simulated Rail.
- Simulated Rail: custom ratio and specified DLO are available with Simulated Rail and will be validated by OMS.
- An ICADG 7316 with wood grille will align over a 25-3W or 37-2W ICA assembly only.
- An ICATR 7316 or 7319 with wood grille will align over a 73-1W picture only.
- GBGs are not available on Impact IZ3 units.
- SDL with spacer bars are not available on Impact IZ3 units.

EGRESS MEASUREMENT / EGRESS FORMULA and CONVERSIONS

Egress Calculations for Special Sizes		
Minimum Value for Net Clear Opening	Desired Dimension	Formula
20" (508)	Frame RO of 30" (762) and greater	Std. Hinge Opening Width (inches) = Frame OMW - 8.758" (222)
20" (508)	Frame RO of 27 1/8" (689) - 29 63/64" (792)	Egress Hinge Opening Width (inches) = Frame OMW - 6.125" (156)
24" (610)	-	Egress Opening Height (inches) = Frame OMH - 4.400" (112)
5.7 square feet (53)	Egress Opening Area (sq. ft.)	= (Egress Width x Egress Height) / 144

EGRESS MEASUREMENTS FOR OPERATING CASEMENTS



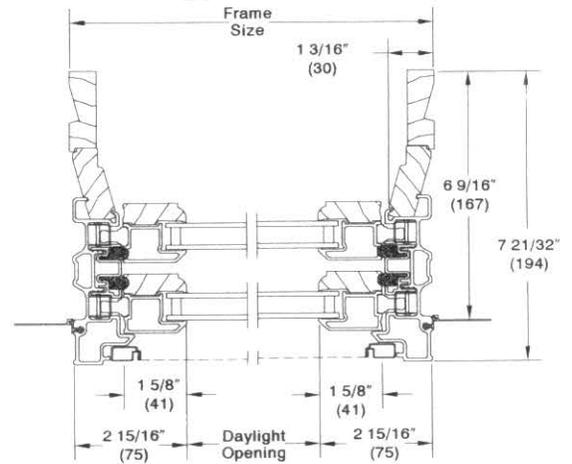
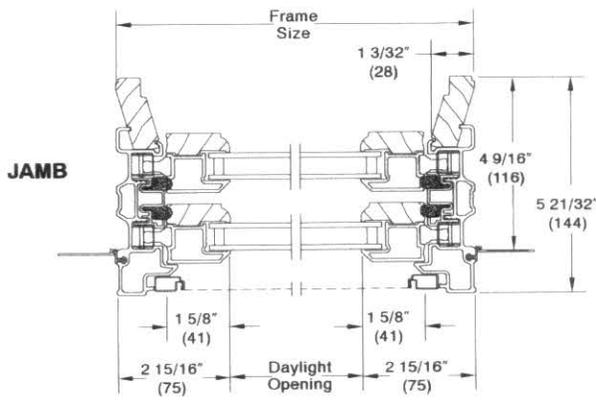
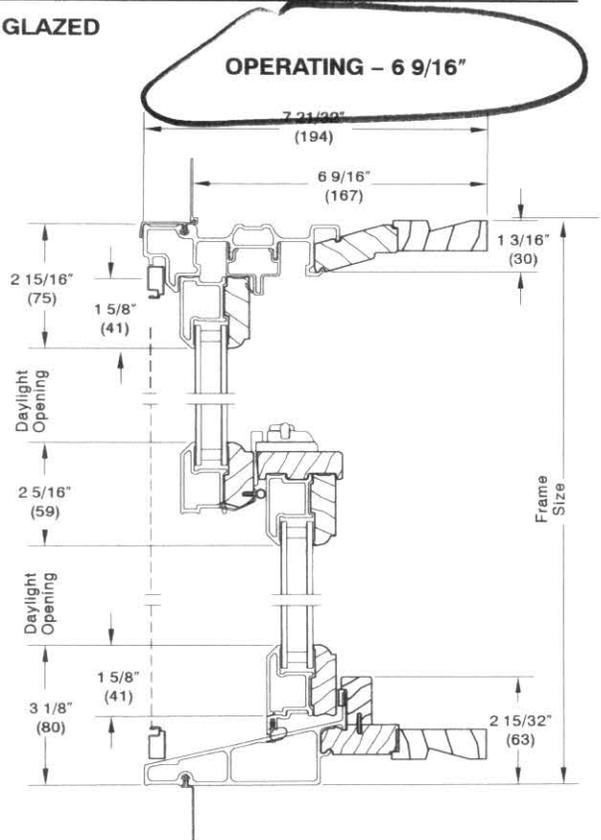
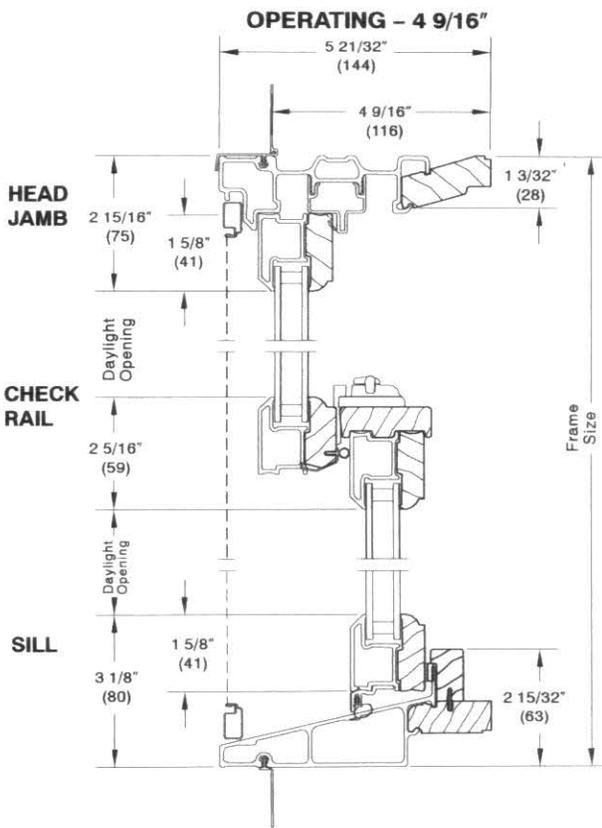
Code restrictions may vary depending on your local building codes. For additional information contact your local code department for IBC and IRC requirements.

STANDARD MEASUREMENT CONVERSIONS

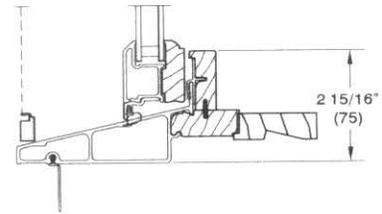
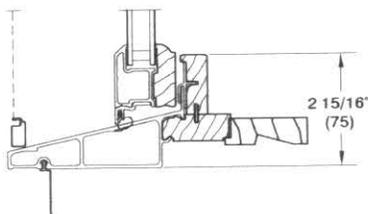
UNITS	WIDTH	HEIGHT
Masonry Opening to Rough Opening	+ 1/2" (13)	+ 1/4" (6)
Outside Measurement of Frame to Rough Opening	+ 1" (25)	+ 1/2" (13)
Glass Size to Rough Opening	+ 5 3/16" (132)	+ 4 11/16" (119)
Outside Measurement of Sash to Rough Opening	+ 2 11/16" (68)	+ 2 3/16" (56)
Rough Opening to Daylight Opening	- 6 7/32" (158)	- 5 23/32" (145)
ALUMINUM SCREEN		
Rough Opening to Outside Measurement of Screen	- 4 7/16" (113)	- 4 13/32" (112)
IMPACT GLAZED IZ3		
Rough Opening to Glass Size	- 5 11/32" (136)	- 4 27/32" (123)

SECTION DETAILS: Not to Scale

STANDARD GLAZED



HIGH PERFORMANCE



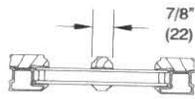
NOTE: CE is not available on High Performance units

CONVERSIONS

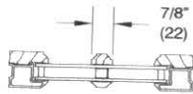
STANDARD MEASUREMENT CONVERSIONS				
Wood-Ultrex Double Hung	WIDTH		HEIGHT	
Rough Opening to	Inches	Metric	Inches	Metric
Masonry Opening	- 1/2"	- 13 mm	- 1/4"	- 6 mm
OM of Frame	- 1"	- 25 mm	- 1/2"	- 13 mm
OM Sash	- 3 9/16"	- 90 mm	(+ 2) - 1 3/16"	(+ 2) - 30 mm
Daylight Opening	- 6 13/16"	- 173 mm	(+ 2) - 4 7/16"	(+ 2) - 113 mm
Om of Glass	- 5 3/4"	- 146 mm	(+ 2) - 3 3/8"	(+ 2) - 86 mm
OM of Screen	- 3"	- 76 mm	- 2 1/8"	- 54 mm
PICTURE / TRANSOM				
Masonry Opening	- 1/2"	- 13 mm	- 1/4"	- 6 mm
OM of Frame	- 1"	- 25 mm	- 1/2"	- 13 mm
OM Sash	- 3 9/16"	- 90 mm	- 3 5/16"	- 84 mm
Daylight Opening	- 6 13/16"	- 173 mm	- 6 9/16"	- 167 mm
Om of Glass	- 5 3/4"	- 146 mm	- 5 1/2"	- 140 mm
IMPACT IZ3 MEASUREMENT CONVERSIONS				
Wood-Ultrex Double Hung	WIDTH		HEIGHT	
Rough Opening to	Inches	Metric	Inches	Metric
Glass Size	- 5 15/16"	- 151 mm	(+ 2) - 3 9/16"	(+ 2) - 90 mm
PICTURE / TRANSOM				
Glass Size	- 5 15/16"	- 151 mm	- 5 11/16"	(+ 2) - 144 mm

DIVIDED LITE OPTIONS Not to Scale

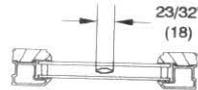
DIVIDED LITE OPTIONS



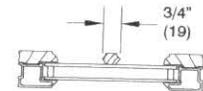
Simulated Divided Lite



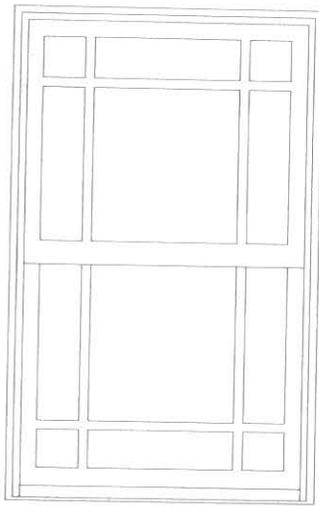
Simulated Divided Lite w/Spacer Bar



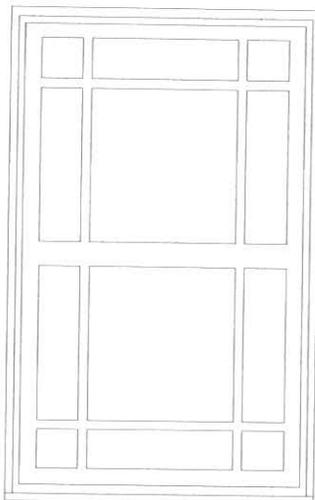
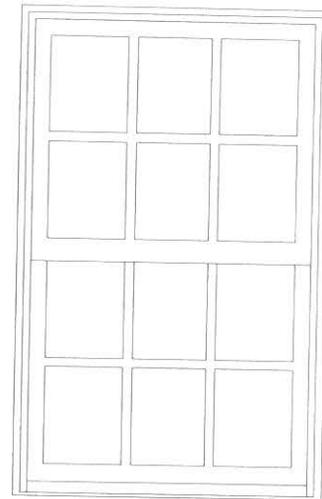
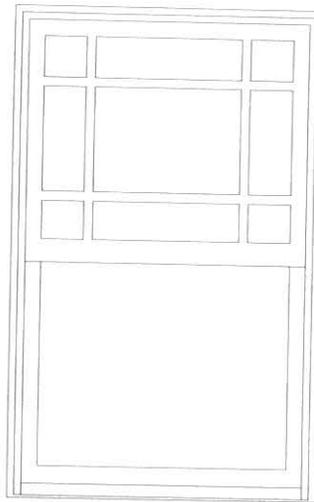
Aluminum Grille Between Glass



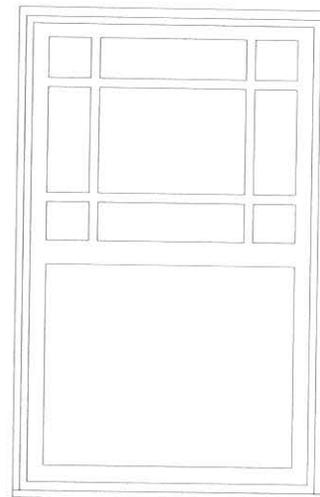
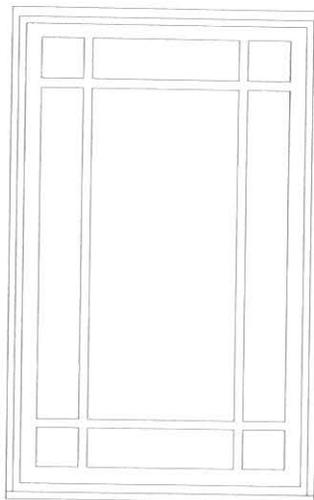
Wood Removable Grill



* Optional 6 lite Prairie cut for GBG or SDL.



* Optional 9 lite Prairie cut for GBG or SDL.



NOTE: Direct Glaze Round Top with Wood Grilles, GBG, or SDL will only align with the default lite cut of the unit it is intended to be mullied with.

NOTE: GBG and SDL with spacer bars are not available on Impact IZ3 units

NOTE: 4" (102) DLO lite cut minimum for 7/8" (22) pattern



211 NW 29th St.



211 NW 29th St.



211 NW 29th St.



211 NW 29th St.



30th St. Property Window Well Railing



30th St. Property Window Well Railing



30th St. Property Window Well Railing



Typical Basement Window



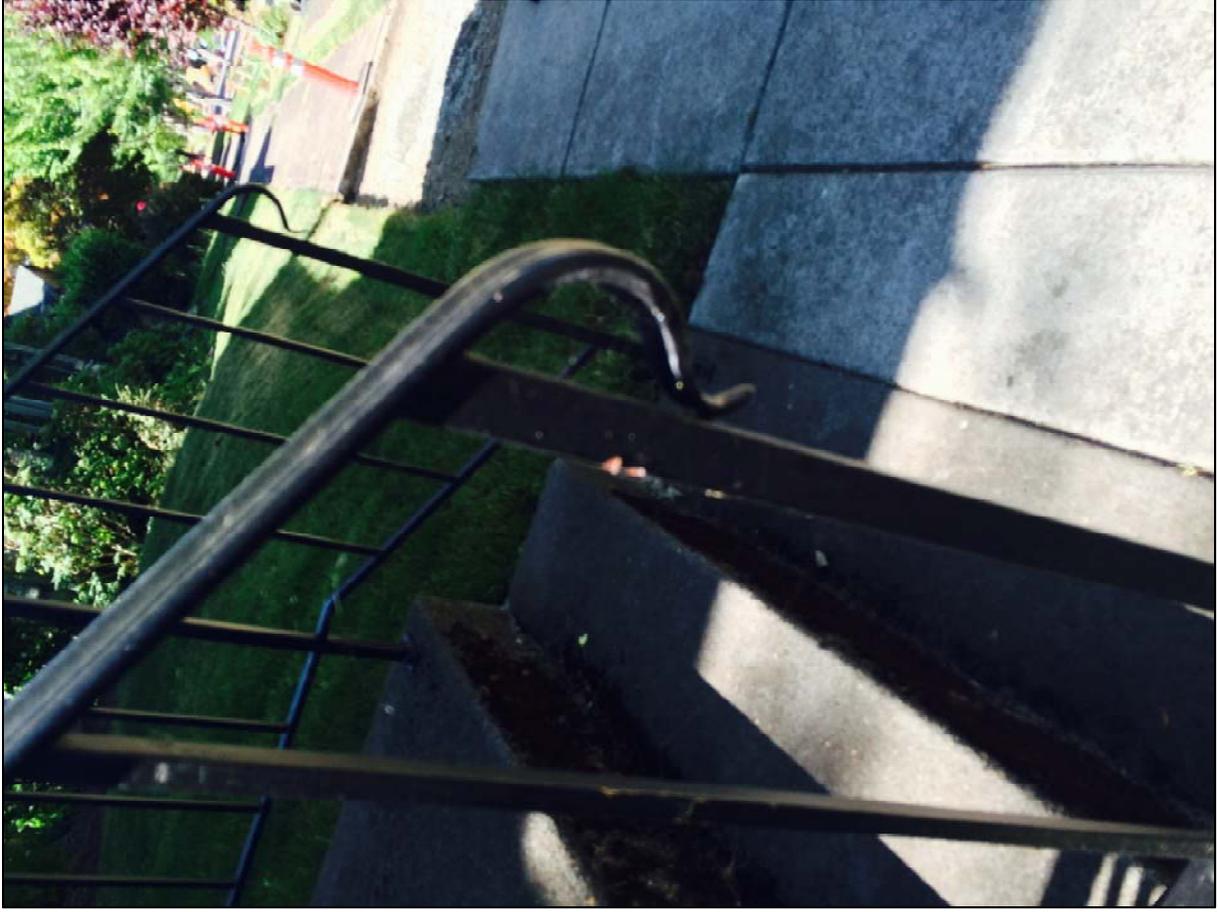
Typical Handrail



Bathroom Window



Living Room Window



Gilbert House handrail, 210 NW 29th St.